



June 3, 2026

Mr. Ali Jaber  
Ali Jaber Architect  
28925 Pacific Coast Highway  
Malibu, CA 90265

**Sent Via Email**

**Subject: Approval of Playground Plan for Ark Academy located at 17701 Mitchell North, in Planning Area 36 (Irvine Business Complex) File No. 00979733-PPA**

Dear Mr. Jaber:

Community Development Department staff has reviewed and approved Playground Plan 00979733-PPA for Ark Academy located at 17701 Mitchell North in Planning Area 36 (Irvine Business Complex). The scope of work represents a new playground for Ark Academy, a child care center and private school within an existing 12,368-square-foot office building approved via Conditional Use Permit 00921880-PCPU. Approval of the playground plan will allow for the development of a 3,022-square-foot noise mitigated playground area to be shared by children attending the private school and child care center.

The City's playground consultant has completed a review of the playground plans. Following a detailed evaluation, the consultant has determined that the proposed playground equipment conforms to the Playground Design Standards, as outlined in Section VII-B of the Irvine Parks and Park Facilities Standards Manual. The proposed playground plan is hereby approved, subject to the applicable Conditions of Approval for Ark Academy as approved under Conditional Use Permit 00921880-PCPU and those placed on development of all new playgrounds, including Standard Condition 4.2 (Playground Inspection).

Unless an appeal is filed prior to the expiration of the five-business-day appeal period, ending at 5 p.m. Wednesday, June 10, 2026, this approval shall become effective Thursday, June 11, 2026. The stamped-approved plans for Playground Plan 00979733-PPA are being transmitted electronically along with this letter. Please note that permits cannot be issued until all fees associated with this application are paid in full.

Should you have any questions regarding this approval letter, please contact Assistant Planner Samantha Zepeda at 949-724-5427 or at [szepeda@cityofirvine.org](mailto:szepeda@cityofirvine.org).

Mr. Ali Jaber  
June 3, 2026  
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Sincerely,

A handwritten signature in black ink that reads "Stephanie Frady". The signature is written in a cursive, flowing style.

Stephanie Frady, AICP  
Director of Community Development

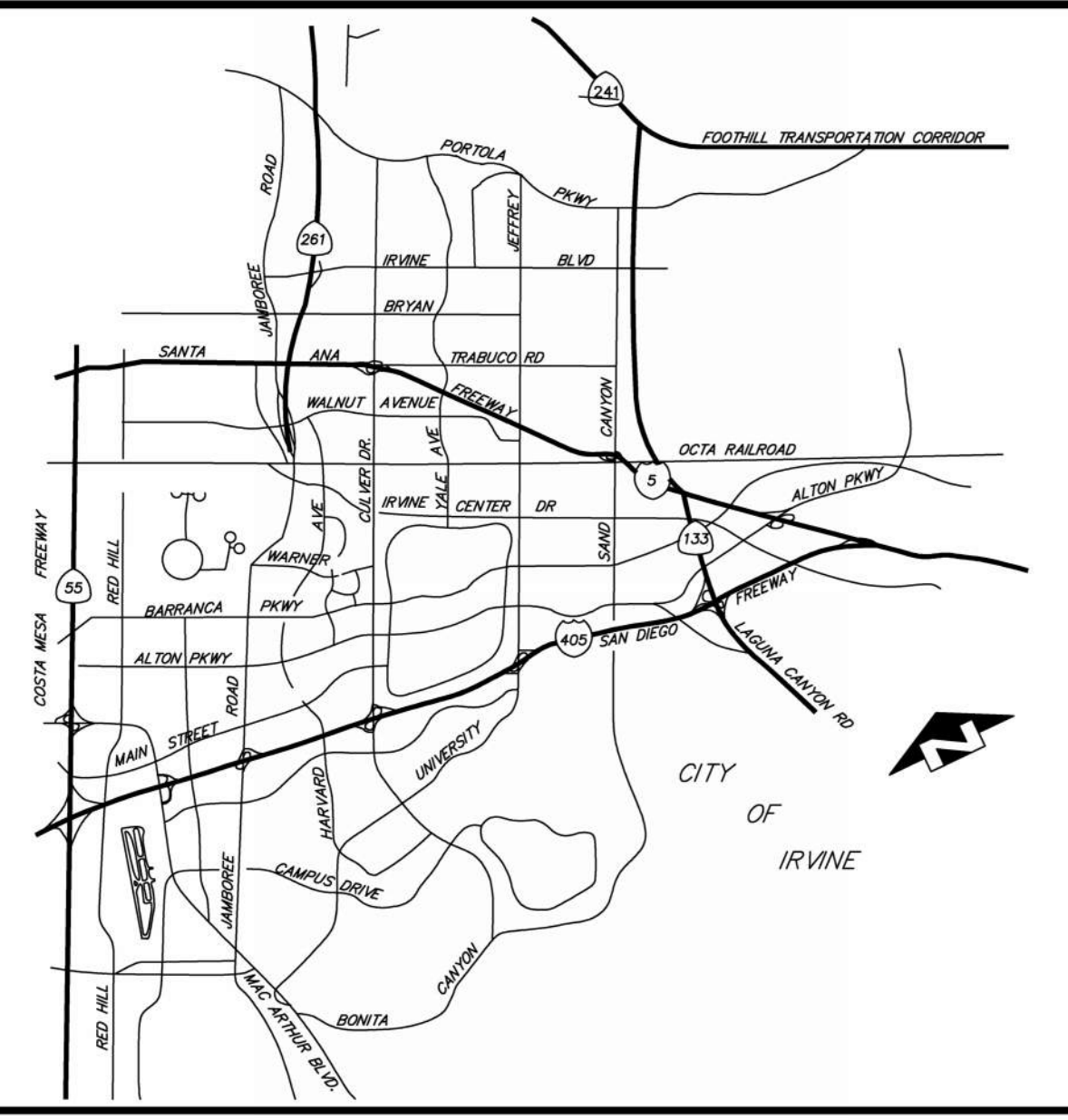
Enclosure: Approved Playground Plan 00979733-PPA

ec: Alyssa Matheus, Planning Manager  
Chris Chung, Principal Planner  
Files: 00979733-PPA; 00921880-PCPU

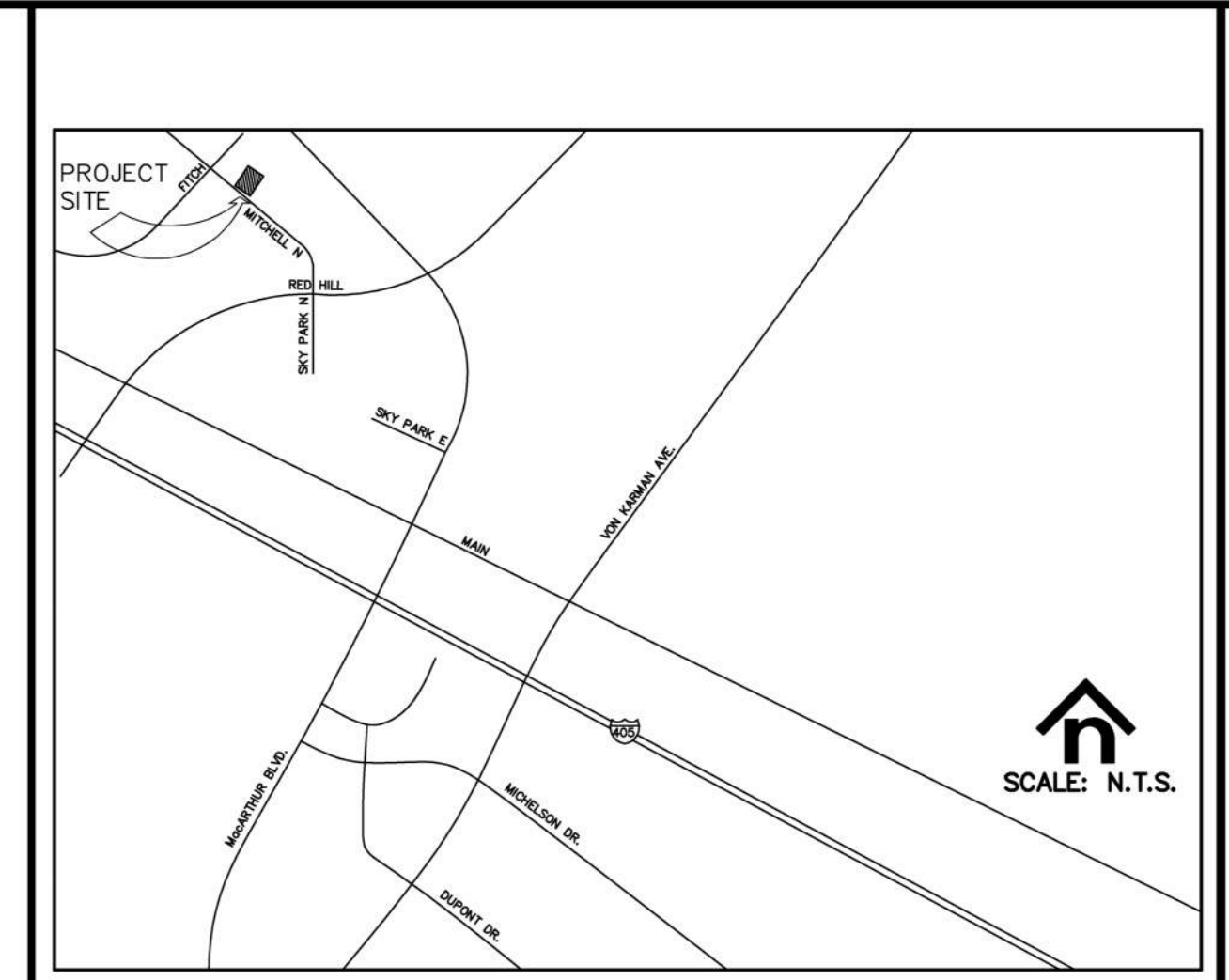
# THE CITY OF IRVINE



# BUILDING PLANS



VICINITY MAP



LOCATION MAP

## PROJECT INFORMATION

**PROJECT LOCATION:** 17701 MITCHELL DRIVE, NORTH IRVINE, CA 92614  
**PROJECT DESCRIPTION:** 1 OF AN EXISTING 2-STORY OFFICE BUILDING (B-OCCUPANCY) WITH THE PROPOSED SCOPE OF CONVERTING THE BUILDING INTO AN PRIVATE ELEMENTARY SCHOOL AND CHILD CARE (PRE-K) (E AND B-OCCUPANCY). AS PART OF PLANNING COMMISSION RESOLUTION NO. 25-4928 ALSO PROPOSED IS EXTERIOR WORK INCLUDING:  
 A NEW PICK UP AND DROP OFF LANE  
 A ONE WAY EXIT DRIVEWAY APPROACH  
 RELOCATION OF THE TRASH ENCLOSURE  
 NEW EXTERIOR PLAYGROUND WITH A LOUVERED CANOPY COVER  
 EXISTING PARKING LOT MODIFICATION

**USE/OCCUPANCY/FLOOR AREA:** REFER TO SHEET A4.1 / A4.2 FOR COMPLETE BREAKDOWN  
**FIRST FLOOR:** AREA: 6,683 SF / OCCUPANCIES: B (2,321 SF), E (4,362 SF) / 215 MAX TOTAL OCCUPANTS  
**SECOND FLOOR:** AREA: 5,685 SF / OCCUPANCIES: B (2,822 SF), E (2,822 SF) / 171 MAX TOTAL OCCUPANTS  
**NUMBER OF STORIES:** 2 EXISTING STORIES

**TYPE OF CONSTRUCTION:** V8

### FIRE RESISTANCE RATED ASSEMBLIES CONSTRUCTED OR ALTERED IN SCOPE OF WORK:

EXTERIOR WALLS: NO  
 FIRE WALLS: NO  
 FIRE BARRIERS: NO  
 FIRE PARTITIONS: YES, 1 HR  
 HORIZONTAL ASSEMBLIES: NO

SEE SHEET A2.1, A2.3, A4-1, A4-2 AND A5.1 FOR FIRE-RESISTANCE RATED ASSEMBLY LEGEND, PROVIDING UNIQUE SYMBOLS FOR EACH RATED ASSEMBLY TYPE/RATING AND CALL-OUTS TO CONSTRUCTION DETAILS DEMONSTRATING COMPLIANCE WITH ASSEMBLY LISTINGS.

### AUTOMATIC FIRE SPRINKLERS: YES, NEW SYSTEM PROPOSED

AN APPROPRIATE TYPE, NFPA 13 AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED UNDER SEPARATE APPROVAL THROUGH THE ORANGE COUNTY FIRE AUTHORITY. SPRINKLERS ARE PROVIDED

TO COMPLY WITH THE CITY OF IRVINE MUNICIPAL CODE SECTION 5-9-401 FOR BUILDING HAVING A GROSS AREA EXCEEDING 5,000 SQUARE FEET.

### ALLOWABLE HEIGHT/AREA ANALYSIS (CBC CHAPTER 5):

ALLOWABLE HEIGHT: 60 FT PER TABLE 504.3  
 ALLOWABLE AREA: 27,000 SF FOR B OCCUPANCY, 9,500 SF FOR E OCCUPANCY

**PARKING SUMMARY:**  
 REQUIRED PARKING: 23  
 TOTAL PARKING PROVIDED: 26  
 ACCESSIBLE/VAN PARKING PROVIDED: 1  
 STANDARD ACCESSIBLE PARKING PROVIDED: 1

### APPLICABLE STATE CODES (WITH CITY OF IRVINE AMENDMENTS):

CALIFORNIA BUILDING CODE	2022
CALIFORNIA ELECTRIC CODE	2022
CALIFORNIA MECHANICAL CODE	2022
CALIFORNIA PLUMBING CODE	2022
CALIFORNIA ENERGY EFFICIENCY CODE	2022
CALIFORNIA GREEN BUILDING STANDARDS CODE	2022

## WATER CONSERVING PLUMB. FIXTURE VERIFICATION/RETROFIT

BUILDINGS FOR WHICH AN INITIAL FINAL INSPECTION WAS RECEIVED ON OR BEFORE JANUARY 1, 1994 SHALL COMPLY WITH THE CITY OF IRVINE'S INFORMATION BULLETIN #321. WAS THE INITIAL FINAL INSPECTION ON THE PROPERTY UNDERGOING THE PROPOSED TENANT IMPROVEMENT RECEIVED PRIOR TO JANUARY 1, 1994: YES

## CALIFORNIA GREEN BUILDING STANDARDS CODE

PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE APPLY TO ALL NEW LOW-RISE RESIDENTIAL BUILDINGS (THREE STORIES AND LESS INCLUDING HOTELS AND MOTELS) AND ALL NON-RESIDENTIAL TENANT IMPROVEMENT WITH VALUATION EQUAL OR GREATER THAN \$200,000 AND ADDITIONS EQUAL OR GREATER THAN 1,000 SQUARE FEET.

A-1.6, A-1.7, A-1.8

## SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

THIS PROJECT IS SUBJECT TO BOTH SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATION PER CALIFORNIA BUILDING CODE (CBC) CHAPTER 17 AND SHALL FOLLOW THE REQUIREMENTS AS DEFINED IN CITY OF IRVINE INFORMATION BULLETIN NO. 278 AND 251.

SEE S0.01 FOR COMPLETED PROJECT SPECIFIC CITY OF IRVINE SPECIAL INSPECTION PROGRAM FORM.

SEE S0.01 FOR COMPLETED PROJECT SPECIFIC CITY OF IRVINE SPECIAL OBSERVATION PROGRAM FORM.

## CITY OF IRVINE MUNICIPAL CODE

[NOTE: COMPLETE IMC TEXT IS AVAILABLE ON THE INTERNET AT WWW.MUNICODE.COM]

THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE IRVINE MUNICIPAL CODE PROVISIONS INCLUDING BUT NOT LIMITED TO:

CONSTRUCTION WORK HOURS [IMC SECT. 6-8-205]

MON-FRI 7 AM TO 7 PM

SAT 9 AM TO 6 PM

NO WORK ON SUNDAYS OR FEDERAL HOLIDAYS

SECURITY DESIGN STANDARDS [IMC SECT. 5-9-517 AND 5-9-528]

SEE SHEET INSERT PLAN S-1 (SEE PLAN NUMBER) FOR APPLICABLE COMPLIANCE WITH SECURITY CODE PROVISIONS.

ROOFING [IMC 5-9-401 F. & 5-9-402 M.]

ROOF COVERING CLASSIFICATION SHALL MEET MINIMUM CLASS A.

ATTIC AND UNDERFLOOR VENT COVERS [IMC 5-9-401 E. & 5-9-402 K.]

ROOF AND UNDERFLOOR VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE, CORROSION RESISTANT, METAL WIRE MESH OR OTHER MATERIALS HAVING OPENINGS OF 1/16 INCH MINIMUM TO 1/8 INCH MAXIMUM. (CBC 706A.2) SEE DETAIL.

**CITY OF IRVINE APPROVED**

**OFF-SITE FABRICATION**

ALL OFF-SITE FABRICATION OF STRUCTURAL STEEL COMPONENTS INCLUDING STEEL SHIRTS AND PRE-CAST CONCRETE SHALL BE DONE IN AN APPROVED FABRICATOR SHOP AS REQUIRED BY CITY OF IRVINE INFORMATION BULLETIN NO. 311. SEE BULLETIN FOR DETAILS AND REQUIRED DOCUMENTATION REQUIRED AT THE RECEIPT OF ANY SHIPMENT OF OFF-SITE FABRICATED ITEMS.

**CASE PLANNER**

**PRE-CONSTRUCTION MEETING REQUIREMENT**

ALL CONSTRUCTION PROJECTS INVOLVING ADDITIONS TO NON-RESIDENTIAL STRUCTURES AND PARKING LOT MODIFICATIONS SHALL NOT COMMENCE UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD. THESE MEETINGS, WHILE NOT REQUIRED BY

CITY CODE FOR TENANT IMPROVEMENTS NOT ADDING AREA, ARE BENEFICIAL FOR MAJOR TENANT IMPROVEMENTS OR ANY RESTAURANT INSTALLATIONS. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT COMMERCIAL BUILDING INSPECTOR SUPERVISOR AT (949) 724-6139 FOR BUILDING INSPECTIONS AND GRADING INSPECTOR SUPERVISOR AT (949) 724-6329 FOR PARKING LOT MODIFICATIONS INSPECTIONS.

## DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE CITY SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE CITY.

1- FIRE SPRINKLER

## ADDITIONS AND ALTERATIONS:

PRIOR TO USE, OCCUPANCY OR FINAL INSPECTION, EXISTING OR RETROFITTED ADDRESSING MEETING THE HEIGHT, CONTRAST AND FONT REQUIREMENTS OF SECTION 5-9-517 ITEM L OF THE CITY OF IRVINE MUNICIPAL CODE SHALL BE VERIFIED BY THE CITY INSPECTOR.

CONTRACTOR SHALL RESTORE ALL ORIGINAL AND REQUIRED FIRE PROTECTION ON STRUCTURAL ELEMENTS AND RATED ASSEMBLIES.

PRIOR TO FINAL INSPECTION, THE OPENING FORCE FOR DOORS SERVING THE DESIGNATED ACCESSIBLE PATH OF TRAVEL SHALL BE VERIFIED TO COMPLY WITH CBC 11B-404.2.9. POWERED EXTERIOR DOORS, PER EXCEPTION 2, SERVING A SPACE WITH AN OCCUPANCY OF 150 OR MORE ARE REQUIRED TO BE EQUIPPED WITH BACK-UP POWER.

## FIRE DEPARTMENT NOTES:

1. FOR ASSISTANCE WITH FIRE-RELATED PLAN REVIEW ISSUES OR TECHNICAL QUESTIONS, PLEASE CALL (714) 573-6108. FOR FIRE-RELATED INSPECTION QUESTIONS OR ISSUES, PLEASE CONTACT YOUR OCFA INSPECTOR DIRECTLY OR OCFA INSPECTION SCHEDULING AT (714) 573-6150 FOR ASSISTANCE.

2. THE PROJECT SHALL COMPLY WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND OTHER CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY. APPROVAL OF THESE PLANS SHALL NOT PERMIT THE VIOLATION OF ANY CODE OR LAW.

3. FOR PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS TO EXISTING STRUCTURES, INSTALLATION OF GATES/WALLS/FENCES, OR ALTERATION OF VEHICULAR ACCESS, A FIRE MASTER PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE OCFA PRIOR TO SUBMITTAL OF ARCHITECTURAL PLANS. AN APPROVED FIRE MASTER PLAN SHALL BE SUBMITTED WITH THE ARCHITECTURAL PLANS.

4. ALL WEATHER FIRE ACCESS ROADS SHALL BE APPROVED BY THE OCFA AND BE IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON THE SITE. ACCESS ROADS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS DURING AND AFTER CONSTRUCTION.

5. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS, BE A MINIMUM SIX INCHES HIGH, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY. THE BUILDING IS ADDRESSED ON OR AS OTHERWISE ALLOWED BY OCFA GUIDELINE 8-69.

6. BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 20' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

7. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CFC AND CCR TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SHED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT. BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A:10B:C EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4' ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY THE INSPECTOR AND FINAL PLACEMENT IS SUBJECT TO APPROVAL.

8. WALL, FLOOR AND CEILING FINISHES AND DECORATIVE MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC/CFC CHAPTER 8. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL. SUCH ITEMS SHALL BE APPROVED AND INSPECTED PRIOR TO INSTALLATION.

9. KNOX BOXES/KEY CABINETS SHALL BE PROVIDED FOR ALL POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNUSUALLY DIFFICULT.

10. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON- OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3

11. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.

12. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADLOCKS THAT DO NOT UNLATCH IN TANDEM WITH THE NORMAL OPERATING LEVER. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH DOOR STOPS OR OTHERWISE PROPPED OPEN.

13. SPRINKLER AND ALARM SYSTEMS SHALL BE PROVIDED WHEN REQUIRED BY CBC/CFC CHAPTER 9 AND LOCAL ORDINANCE. IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD (GROUP 2) WITH A DESIGN AREA OF 3000 SQUARE FEET.

14. EXISTING SPRINKLER AND ALARM SYSTEMS IN SPACES UNDERGOING REMODELING SHALL BE EVALUATED BY A LICENSED CONTRACTOR KNOWLEDGEABLE IN SUCH SYSTEMS TO DETERMINE WHETHER CHANGES WILL BE NECESSARY TO MAINTAIN THESE SYSTEMS IN CONFORMANCE WITH APPLICABLE STANDARDS. IF MODIFICATIONS ARE NECESSARY, PLANS SHALL BE SUBMITTED TO THE OCFA FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION OF THE SYSTEM. SPRINKLER AND ALARM SYSTEMS SHALL BE SUPERVISED BY A UL-LISTED CENTRAL ALARM STATION.

15. WHERE COMMERCIAL-TYPE FOOD HEATING OR COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS IS PRESENT, AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED AND SHALL COMPLY WITH CFC, CMC, AND NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN BY THE OCFA IS REQUIRED PRIOR TO INSTALLATION, MODIFICATION, REARRANGEMENT, OR USE OF COOKING EQUIPMENT.

16. HAZARDOUS MATERIALS EQUIPMENT, PROCESSES, STORAGE, DISPENSING, OR USE SHALL COMPLY WITH CBC AND CFC REGULATIONS AND SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO SUCH MATERIALS OR EQUIPMENT BEING BROUGHT ON SITE.

17. STORAGE AREAS GREATER THAN 500 SQ.FT. WITH HIGH HAZARD MATERIALS STORED HIGHER THAN SIX FEET AND OTHER MATERIALS STORED HIGHER THAN TWELVE FEET ARE NOT PERMITTED WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFA.

18. A NEW HVAC UNIT EXCEEDING A 2,000 CFM CAPACITY SHALL BE PROVIDED WITH A DUCT SMOKE DETECTOR. THIS DETECTOR SHALL SHUT DOWN ONLY THE AFFECTED INDIVIDUAL HVAC UNIT UPON SMOKE DETECTION. THIS DETECTOR MUST ALSO BE INTERFACED TO AN EXISTING FIRE ALARM SYSTEM. THE DETECTOR SHALL ONLY PROVIDE A SUPERVISORY SIGNAL AT THE FIRE ALARM PANEL UPON SMOKE DETECTION.

## STORM WATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF IRVINE WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3, WATER, OF DIVISION 8 OF TITLE 8 OF THE IRVINE MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

- AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMPs) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.
- SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS: ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.
- TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

## PARKING LOT MODIFICATION / PAVEMENT INSPECTIONS

- PRIOR TO THE START OF ANY WORK, A PRE-GRADING MEETING AT THE SITE IS REQUIRED WITH THE OWNER, CONTRACTOR, GEOTECHNICAL ENGINEER (IF APPLICABLE), OR THEIR AGENTS, AND THE CITY GRADING INSPECTOR. THE PERMITTEE SHALL CONTACT GRADING INSPECTION TO SCHEDULE (949) 724-6329.
- THE REQUIREMENTS FOR DEPUTY INSPECTION AND PERMIT CLOSE-OUT DOCUMENTATION WILL BE DETERMINED BY THE CITY GRADING INSPECTOR AT THE PRE-GRADING MEETING. THE REQUIRED GRADING INSPECTIONS WILL BE DEFINED AT THE PRE-GRADING MEETING.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF
  - THE IRVINE GRADING AND EXCAVATION REGULATIONS AND GRADING MANUAL.
  - THE CITY OF IRVINE STANDARD PLANS
  - SPECIAL REQUIREMENTS OF THE GRADING OR PARKING LOT MODIFICATION PERMIT
  - THE CALIFORNIA BUILDING CODE
  - STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK)
  - MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
  - THE CITY OF IRVINE CONSTRUCTION SITE SECURITY ORDINANCE.

4. CONSTRUCTION OPERATIONS SHALL OCCUR ONLY BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH FRIDAY, AND BETWEEN THE HOURS OF 9:00 A.M. AND 6:00 P.M. SATURDAYS. NO CONSTRUCTION ACTIVITIES SHALL BE PERMITTED OUTSIDE OF THESE PERMITTED HOURS OR ON SUNDAYS AND FEDERAL HOLIDAYS, UNLESS A TEMPORARY WAIVER HAS BEEN GRANTED BY THE CHIEF BUILDING OFFICIAL. ANY WAIVERS SHALL TAKE INTO ACCOUNT THE IMPACT UPON THE COMMUNITY (IRVINE MUNICIPAL CODE SEC. 6-8-205).

5. ACCESSIBLE STALLS AND PATHS OF TRAVEL SHALL BE TEMPORARILY RELOCATED, AS NEEDED, TO MAINTAIN COMPLIANT ACCESSIBILITY, TO BE DETERMINED AT THE PRE-GRADING MEETING TO THE SATISFACTION OF THE GRADING INSPECTOR.

6. ALL ACCESSIBLE STALL STRIPING AND SIGNAGE SHALL BE PER THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. ALL STANDARD PARKING STALL STRIPING SHALL BE PER CITY OF IRVINE STANDARD PLAN NO. 411.

7. ALL UTILITY TRENCH OR EXCAVATION BACKFILL WITHIN AREAS TO BE PAVED SHALL BE PER CITY OF IRVINE STANDARD PLAN NO. 223.

## EPA RENOVATION, REPAIR, AND PAINTING (RRP) RULE:

EPA REGULATIONS REQUIRE THAT ANY CONTRACTOR OR MAINTENANCE STAFF WHO DISTURBS LEAD-BASED PAINT IN A PRE-1978 RESIDENCE OR CHILD-CARE FACILITY MUST BE LEAD-SAFE CERTIFIED AND TRAINED IN LEAD-SAFE WORK PRACTICES.

## RECYCLING:

CONSTRUCTION WASTE MATERIAL SHALL BE RECYCLED PER APPROVED CONSTRUCTION WASTE REDUCTION COMPLIANCE REPORT.

## SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT ADVISORY:

SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1403 GOVERNS WORK PRACTICE REQUIREMENTS FOR ASBESTOS IN ALL RENOVATION AND DEMOLITION ACTIVITIES. PLEASE REFER TO RULE 1403 (HTTP://WWW.AQMD.GOV/DOCS/DEFAULT-SOURCE/RULE-BOOK/REG-XIV/RULE-1403.PDF) FOR ALL CURRENT REQUIREMENTS.

CALIFORNIA HEALTH AND SAFETY CODE 19827.5 REQUIRES THAT EVIDENCE OF DEMOLITION NOTIFICATION SUBMITTED TO THE SOUTH COAST AQMD BE PROVIDED TO CITY OF IRVINE BUILDING AND SAFETY PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT INCLUDING DEMOLITION WORK.

## ACCESSIBILITY COMPLIANCE:

CALIFORNIA BUILDING CODE, CHAPTER 11B REQUIRES COMPLIANCE WITH ALL PATH OF TRAVEL REQUIREMENTS. IS THE PROFESSIONAL OF RECORD USING CODE EXCEPTIONS FOR COMPLIANCES? NO WHEN USING CODE EXCEPTIONS ONLY, REFER TO SHEET A.1.1 & A.1.2 FOR JUSTIFICATION.

## PROJECT CONTACTS:

**PROJECT CONTACTS:**  
 OWNER'S REP: MEHDI TAGHIEI, EMAIL: mehdi.taghie@gmail.com, PHONE: 949-509-1234  
 ARCHITECT: ALI JABER, EMAIL: alijaberarch.com, PHONE: 949-264-3320

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- LI-2 - IRRIGATION DETAILS

### STRUCTURAL

- S0.01 - GENERAL NOTES
- S0.02 - GENERAL NOTES
- S1.11 - TYPICAL CONCRETE AND CMU DETAILS
- S1.21 - TYPICAL STEEL DETAILS
- S1.31 - TYPICAL WOOD DETAILS
- S1.32 - TYPICAL WOOD DETAILS
- S1.33 - TYPICAL WOOD DETAILS
- S1.34 - TYPICAL WOOD DETAILS
- S2.1 - FOUNDATION PLAN
- S2.2 - SECOND FLOOR FRAMING PLAN
- S2.3 - ROOF FRAMING PLAN
- S2.4 - PLAYGROUND FOUNDATION PLAN
- S2.5 - PLAYGROUND ROOF FRAMING PLAN

### MECHANICAL

- M-0.0 - MECHANICAL GENERAL NOTES & LEGENDS
- M-0.1 - SCHEDULES - MECHANICAL
- M-1.1 - PROPOSED FIRST FLOOR PLAN - MECHANICAL
- M-1.2 - PROPOSED SECOND FLOOR PLAN - MECHANICAL
- M-3.0 - PROPOSED ROOF PLAN - MECHANICAL
- M-5.0 - DETAILS - MECHANICAL
- M-6.0 - TITLE 24 - MECHANICAL
- M-6.1 - TITLE 24 - MECHANICAL
- M-6.2 - TITLE 24 - MECHANICAL
- M-6.3 - TITLE 24 - MECHANICAL

7	DESIGNED: AJA	NO.	DATE
6	DRAWN: AJA	NO.	DATE
5	CHECKED: AJA	NO.	DATE
4	CHECKED: AJA	NO.	DATE
3	DATE: 12/07/2023	NO.	DATE
2	SCALE: PER PLAN	NO.	DATE
1		NO.	DATE

7	DESIGNED: AJA	NO.	DATE
6	DRAWN: AJA	NO.	DATE
5	CHECKED: AJA	NO.	DATE
4	CHECKED: AJA	NO.	DATE
3	DATE: 12/07/2023	NO.	DATE
2	SCALE: PER PLAN	NO.	DATE
1		NO.	DATE

PLANS PREPARED BY: ALI JABER ARCHITECT

DESIGNED BY: MEHDI TAGHIEI

CHECKED BY: MEHDI TAGHIEI

DATE: 12/07/2023

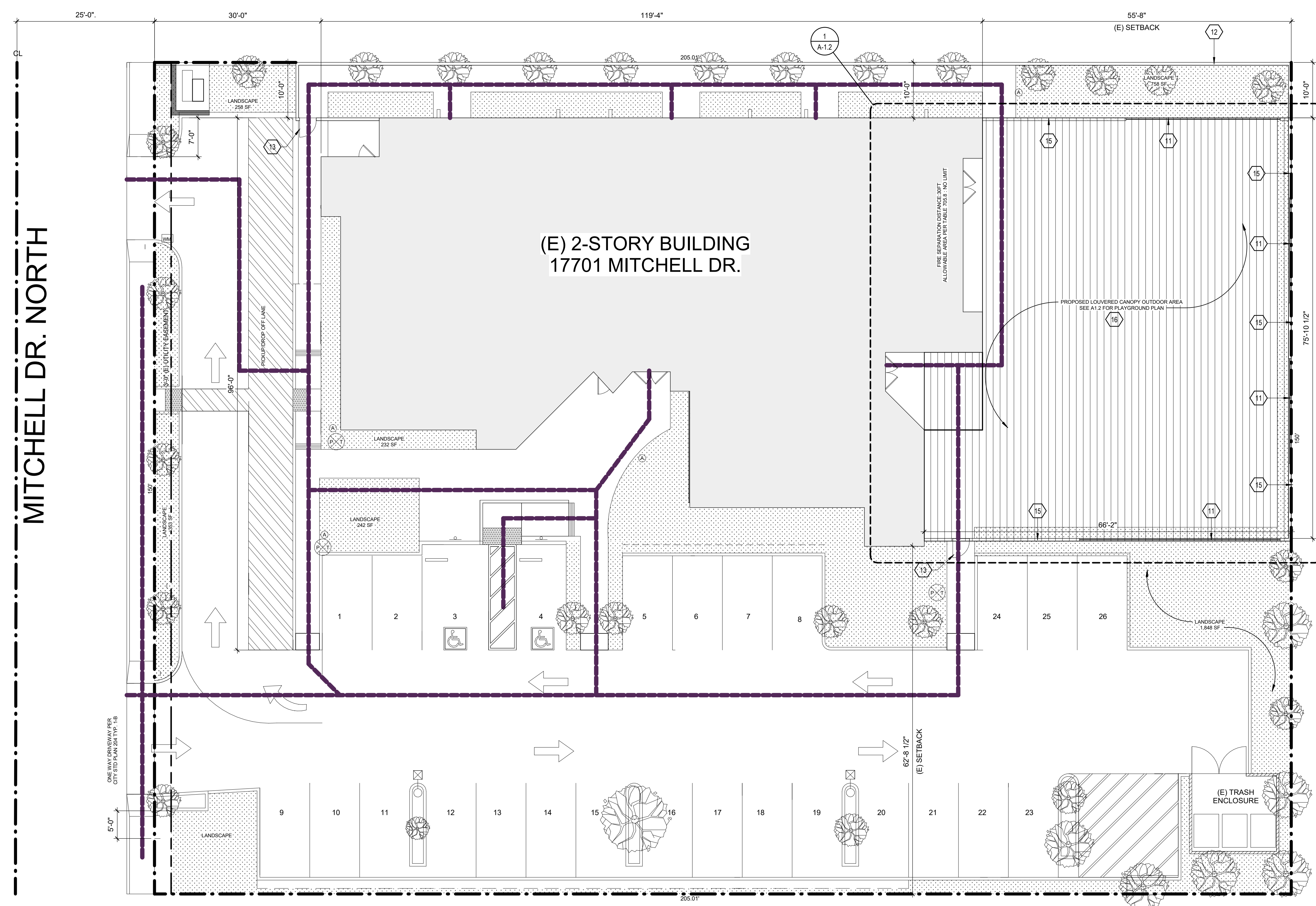
SCALE: PER PLAN

CITY OF IRVINE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN CHECK: 10097323-PFA

PERMIT:

SHEET T11 OF 1



**GENERAL NOTES - SITE PLAN NOTES**

1. ACCESSIBLE PARKING AND PATH OF TRAVEL TO BE UPGRADED AS NEEDED PER ADA COMPLIANCE REQUIREMENTS.
2. AREA OF ALTERATION SHALL BE COMPLETELY ACCESSIBLE PER ADA COMPLIANCE REQUIREMENTS.



**SITE PLAN LEGEND**

	SITE FEATURES TO REMAIN
	SITE FEATURES TO BE DEMOLISHED
	(E) TREE TO REMAIN
	(E) TREE TO BE REMOVED
	(E) LANDSCAPE TO BE MAINTAINED
	(E) LANDSCAPE TO BE REMOVED
	(E) ASPHALT TO BE REMOVED
	(N) HARDSCAPE
	PROPERTY LINE
	PATH OF TRAVEL SIGNAGE, THE ARROW SHALL DESIGNATE DIRECTION OF TRAVEL
	ACCESSIBLE PATH OF TRAVEL DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, [CBC 11B-216.3 INDICATES UNOBSTRUCTED ACCESSIBLE PATH / EXIT PATH LEADING TO PUBLIC STREET - ACCESSIBLE PATH OF TRAVEL DOES NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE]
	INDICATES UNOBSTRUCTED ACCESSIBLE PATH / EXIT PATH LEADING TO TRASH ENCLOSURE - ACCESSIBLE PATH OF TRAVEL DOES NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
	(N) CMU RETAINING WALL

**SHEET KEYNOTES**

- 11 (N) ORNAMENTAL METAL SECURITY FENCE (UNDER SEPARATE PERMIT)
- 12 (N) 6 FT ORNAMENTAL FENCE (UNDER SEPARATE PERMIT)
- 13 (N) METAL ORNAMENTAL GATE PAINTED BLACK THE EXTERIOR YARD GATE MUST HAVE A KNOX BOX KEYS TO BOTH OCA AND IRVINE PD (UNDER SEPARATE PERMIT)
- 15 (N) CMU WALL - FINISH W. SMOOTH STUCCO, COLOR TO MATCH (E) EXTERIOR BUILDING WALLS. REFER TO ELEVATIONS FOR HEIGHT (UNDER SEPARATE PERMIT)
- 16 (N) FIXED POTTORFF 12" PROFILE ACCOUSTICAL LOUVER GRILL CANOPY, 60% OPEN, PAINTED GREEN, 4,609 SF TOTAL (UNDER SEPARATE PERMIT)

**1 PROPOSED SITE PLAN**  
SCALE 1" = 10'-0"

**GENERAL NOTES:**

1. THIS SITE PLAN IS FOR INFORMATION ONLY - REPRODUCED VIA OVERLAYING OF A PDF COPY FOR SCHEMATIC DESIGN AND PRESENTATION PURPOSES. ALL DIMENSIONS / FEATURES SHOWN AS "EXISTING" CONDITIONS SHALL BE VERIFIED & UPDATED UPON AVAILABILITY OF A CURRENT SURVEY MAP.
2. TACTILE EXIT & EXIT ROUTE SHALL BE PROVIDED PER CBC SECTION 1011.3 AND SECTION 1117B.5, SEE 424.1
3. THESE DRAWINGS ARE BASED ON AS-BUILD PLANS PROVIDED BY OWNER. FIELD VERIFY ALL DIMENSIONS & COORDINATE WITH ADA REQUIREMENTS, CODES AND STANDARDS.
4. ACCESSIBLE PARKING AND PATH OF TRAVEL TO BE UPGRADED AS NEEDED PER ADA COMPLIANCE REQUIREMENTS.
5. AREA OF ALTERATION SHALL BE COMPLETELY ACCESSIBLE PER ADA COMPLIANCE REQUIREMENTS.

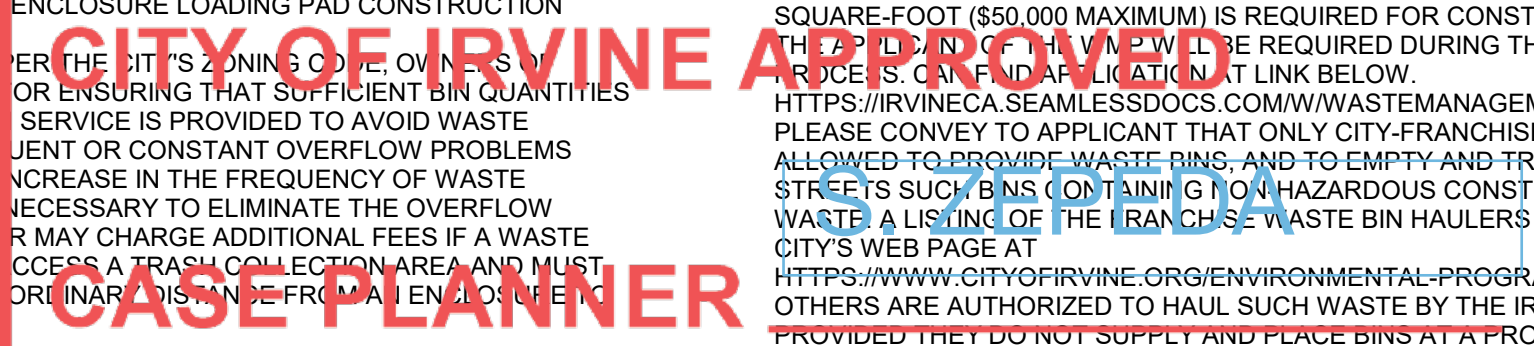
**IRVINE ZONING CODE & NOTES:**

IRVINE ZONING CODE SEC. 3-23-4 - DESIGN REQUIREMENTS.

- SOLID WASTE COLLECTION AREAS SHALL BE CONTAINED WITHIN AN ENCLOSED AREA.
- DIMENSIONS OF THE SOLID WASTE COLLECTION AREA SHALL ACCOMMODATE CONTAINERS CONSISTENT WITH COLLECTION METHODS PRESCRIBED FOR THE TYPES OF MATERIALS GENERATED FOR COLLECTION.
- A CONCRETE LOADING PAD AREA SHALL BE PROVIDED IN FRONT OF THE SOLID WASTE COLLECTION AREA(S) TO ENSURE THAT COLLECTION VEHICLES DO NOT DAMAGE PAVEMENT SURFACE. THE CONCRETE PAD AREA SHALL BE DESIGNED AND CONSTRUCTED CONSISTENT WITH CITY OF IRVINE STANDARDS AND DESIGN MANUAL.
- SOLID WASTE ENCLOSURES SHALL COMPLY WITH THE WALL AND FENCE STANDARDS SET FORTH IN CHAPTER 3-35 AND ALL APPLICABLE BUILDING CODES, AND BE CONSISTENT WITH THE CITY OF IRVINE STANDARDS AND DESIGN MANUAL.
- LANDSCAPED MATERIALS USED TO SCREEN SOLID WASTE COLLECTION AREAS SHALL COMPLY WITH THE LANDSCAPING STANDARDS SET FORTH IN CHAPTER 3-35 AND ALL APPLICABLE BUILDING CODES, AND BE CONSISTENT WITH THE CITY OF IRVINE STANDARDS AND DESIGN MANUAL.
- RECYCLING AREAS SHALL BE SCREENED TO PREVENT THE THEFT OF RECYCLABLE MATERIALS BY UNAUTHORIZED PERSONS, WHILE ALLOWING AUTHORIZED PERSONS ACCESS FOR DISPOSAL AND PICKUP. MATERIALS PLACED THEREIN SHALL PROVIDE PROTECTION AGAINST ADVERSE ENVIRONMENTAL CONDITIONS, WHICH MIGHT RENDER THE COLLECTION AND REUSE OF RECYCLED MATERIALS UNMARKETABLE.
- A SIGN CLEARLY IDENTIFYING ALL RECYCLING AND REFUSE COLLECTION AND LOADING AREAS AND THE MATERIALS ACCEPTED THEREIN SHALL BE POSTED ADJACENT TO ALL POINTS OF ACCESS TO RECYCLING AREAS.
- ALL PAVED SURFACES, INCLUDING DRIVEWAYS AND AREAS THAT MAY BE PLANNED, MUST BE DESIGNED TO ACCOMMODATE THE WEIGHT, TURNING RADIUS AND OTHER OPERATIONAL CONSIDERATIONS RELATED TO HEAVY TRASH TRUCKS. TRUCKS STOP TO LOAD BINS SHALL BE DESIGNED TO WITHSTAND THE INCREASED LOADING FROM THE TRUCK WHEELS AND MEET THE APPROVAL OF THE CITY ENGINEER. PLEASE CONVEY TO APPLICANT THE APPROVAL OF THE CITY ENGINEER AND ATTACHED CITY STANDARDS (BID SPECS).
- PLEASE CONVEY TO APPLICANT THE CITY ZONING CODE REQUIREMENTS OR ENSURING THAT SUFFICIENT SIGNAGE AND FREQUENCY OF COLLECTION SERVICE IS PROVIDED TO AVOID WASTE OVERFLOWS FROM BINS. IF FREQUENCY OF WASTE COLLECTION AT A PROPERTY AS A PROBLEM, ALSO, A WASTE HAULER TRUCK CANNOT CONVENIENTLY MANUALLY MOVE A BIN AN EXTRA EMPTY IT.

**WASTE REDUCTION AND RECYCLING NOTES:**

- WASTE REDUCTION AND RECYCLING CALIFORNIA STATE STATUTES AND REGULATORY REQUIREMENTS:**
- THE CALIFORNIA INTEGRATED WASTE MANAGEMENT ACT (AB839)**  
ALL CITIES AND COUNTIES IN CALIFORNIA ARE REQUIRED BY STATE LAW (I.E., THE CALIFORNIA INTEGRATED WASTE MANAGEMENT ACT - AB839) TO LIMIT THE AMOUNT OF WASTE FLOWING TO LANDFILLS BY 50% COMPARED TO BASE-YEAR LEVELS OR FACE THE THREAT OF SIGNIFICANT FINANCIAL PENALTIES. FOR THE CITY TO COMPLY WITH THIS STATE REQUIREMENT AND AVOID POTENTIAL FINES, EFFECTIVE WASTE MANAGEMENT PROGRAMS AND RECYCLING ARE IMPORTANT BOTH DURING AND AFTER CONSTRUCTION OF NEW DEVELOPMENT PROJECTS, AS WELL AS MODIFICATIONS TO EXISTING DEVELOPMENTS.
- MANDATORY COMMERCIAL RECYCLING (AB341)**  
STATE LAW NOW REQUIRES THAT ALL COMMERCIAL BUSINESSES/PROPERTIES THAT GENERATE MORE THAN 2 CUBIC YARDS OF SOLID WASTE PER WEEK MUST HAVE A RECYCLING PROGRAM. BUSINESSES MAY CONTACT THE CITY OF IRVINE'S ENVIRONMENTAL PROGRAM AT 949-724-7669, OR VISIT [HTTP://WWW.CITYOFIRVINE.US/PROGRAMS/RECYCLING/AB-341-STATE-REQUIREMENT-TO-RECYCLE/](http://www.cityofirvine.us/programs/recycling/ab-341-state-requirement-to-recycle/) TO GET FREE ASSISTANCE IN SETTING UP OR IMPROVING THEIR RECYCLING PROGRAM.
- MANDATORY ORGANICS RECYCLING (SB 1383 & AB 1826)**  
BUSINESSES THAT GENERATE 2 CUBIC YARDS (CY) OR MORE PER WEEK OF ANY TYPE OF SOLID WASTE (TRASH) MUST SEPARATE COLLECTED ORGANICS (I.E., FOOD WASTE AND LANDSCAPE TRIMMINGS RESPECTIVELY) AND ARRANGE FOR RECYCLING SERVICES FOR THAT ORGANIC WASTE. THE APPLICANT/BUSINESS MANAGER/OPERATOR SHOULD CONTACT THE CITY FOR FREE ASSISTANCE IN IMPLEMENTING THE REQUIRED SERVICES BY CALLING PUBLIC WORKS ENVIRONMENTAL PROGRAMS AT 949-724-7669.
- CALIFORNIA GREEN BUILDING CODE STANDARDS CHAPTER 5.410**  
CHAPTER 5 OF THE NON-RESIDENTIAL MANDATORY MEASURES PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS WASTE, SUCH AS RECYCLED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS OR MEET LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE IF MORE RESTRICTIVE.  
[HTTPS://CODES.ICCSAFE.ORG/CONTENT/CAGBC2019/CHAPTER-5-410-RESIDENTIAL-MANDATORY-MEASURES](https://codes.iccsafe.org/content/CAGBC2019/CHAPTER-5-410-RESIDENTIAL-MANDATORY-MEASURES)
- COMPLIANCE WITH CITY ORGANICS RECYCLING ORDINANCE**  
ORDINANCE 21-19 REQUIRES ACCOMMODATION OF MANDATORY RECYCLING MANDATE SB 1383.
- COMPLIANCE WITH CITY'S CONSTRUCTION & DEMOLITION (C&D) RECYCLING ORDINANCE:**  
ALL CONSTRUCTION DEMOLITION PROJECTS REQUIRE WASTE MANAGEMENT PLAN (WMP), ANYTHING THAT GENERATES WASTE REQUIRES SUBMITTAL OF A WASTE MANAGEMENT PLAN (WMP) AND A REFINABLE WASTE DIVERSION FEE DEPOSIT BOND UNDER THE CITY'S C&D RECYCLING ORDINANCE. A WMP DEPOSIT OF \$1.00 PER SQUARE-FOOT (850,000 MAXIMUM) IS REQUIRED FOR CONSTRUCTION AND DEMOLITION PROJECTS. A WMP IS REQUIRED DURING THE CONSTRUCTION OF A PROJECT. PLEASE VISIT [HTTPS://WWW.CITYOFIRVINE.ORG/ENVIRONMENTAL-PROGRAM](https://www.cityofirvine.org/environmental-program) FOR MORE INFORMATION. PLEASE CONVEY TO APPLICANT THAT ONLY CITY-FRANCHISE WASTE HAULERS ARE ALLOWED TO PROVIDE WASTE BINS AND TO EMPTY AND TRANSPORT ON CITY STREETS SUCH BINS. CONTACTING NON-HAZARDOUS CONSTRUCTION WASTE & USE OF THE IRVINE WASTE BIN HAULERS IS AVAILABLE ON THE CITY'S WEB PAGE AT [HTTPS://WWW.CITYOFIRVINE.ORG/ENVIRONMENTAL-PROGRAM](https://www.cityofirvine.org/environmental-program) OTHERS ARE AUTHORIZED TO HAUL SUCH WASTE BY THE IRVINE MUNICIPAL CODE PROVIDED THEY DO NOT SUPPLY AND PLACE BINS AT A PROPERTY TO COLLECT WASTE, AND ONLY IF THEY HOLD A CONTRACTOR'S LICENSE CALIFORNIA, ARE ENGAGED IN THE COLLECTION OF CONSTRUCTION WASTE INCIDENT TO A LEGITIMATE CONSTRUCTION BUSINESS, AND CONDUCT COLLECTION ONLY WITH EQUIPMENT OR VEHICLES WHICH THEY OWN.
- AFTER CONSTRUCTION IS COMPLETED, THE BUSINESS SHOULD CONTACT THE CITY REGARDING CITY-AUTHORIZED WASTE/RECYCLING HAULER THAT CAN PROVIDE WASTE COLLECTION SERVICE TO THIS PROPERTY.



SEAL

DATE: 02/01/2026

PROJECT  
**ARK ACADEMY - PRIVATE ELEMENTARY SCHOOL & CHILD CARE PLAYGROUND**  
17701 MITCHELL N.  
IRVINE, CA 92614

CLIENT  
ARK ACADEMY

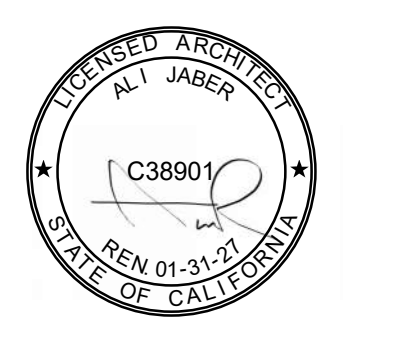
ISSUED

MARK	DATE	DESCRIPTION

TITLE  
**PROPOSED SITE PLAN**

Case number: 00979733-PPA

SHEET  
**A-1.1**



SEAL

DATE: 02/01/2026  
 PROJECT: ARK ACADEMY - PRIVATE ELEMENTARY SCHOOL & CHILD CARE PLAYGROUND  
 17701 MITCHELL N. IRVINE, CA 92614

CLIENT: ARK ACADEMY

ISSUED	MARK	DATE	DESCRIPTION
			ISSUE PACKAGE 1

### LANDSCAPE PLAN LEGEND

- SITE FEATURES TO REMAIN
- (E) OR (N) TREE
- LANDSCAPING (UNDER SEPARATE PERMIT)
- (E) PAVEMENT TO REMAIN, PATCH UP AS REQUIRED
- PLAYGROUND SAND
- MAINTAINED GRASS AREA
- ACCESSIBLE RUBBER SAFETY SURFACE - SPECTAPOUR POURED-IN-PLACE 2 LAYER SYSTEM

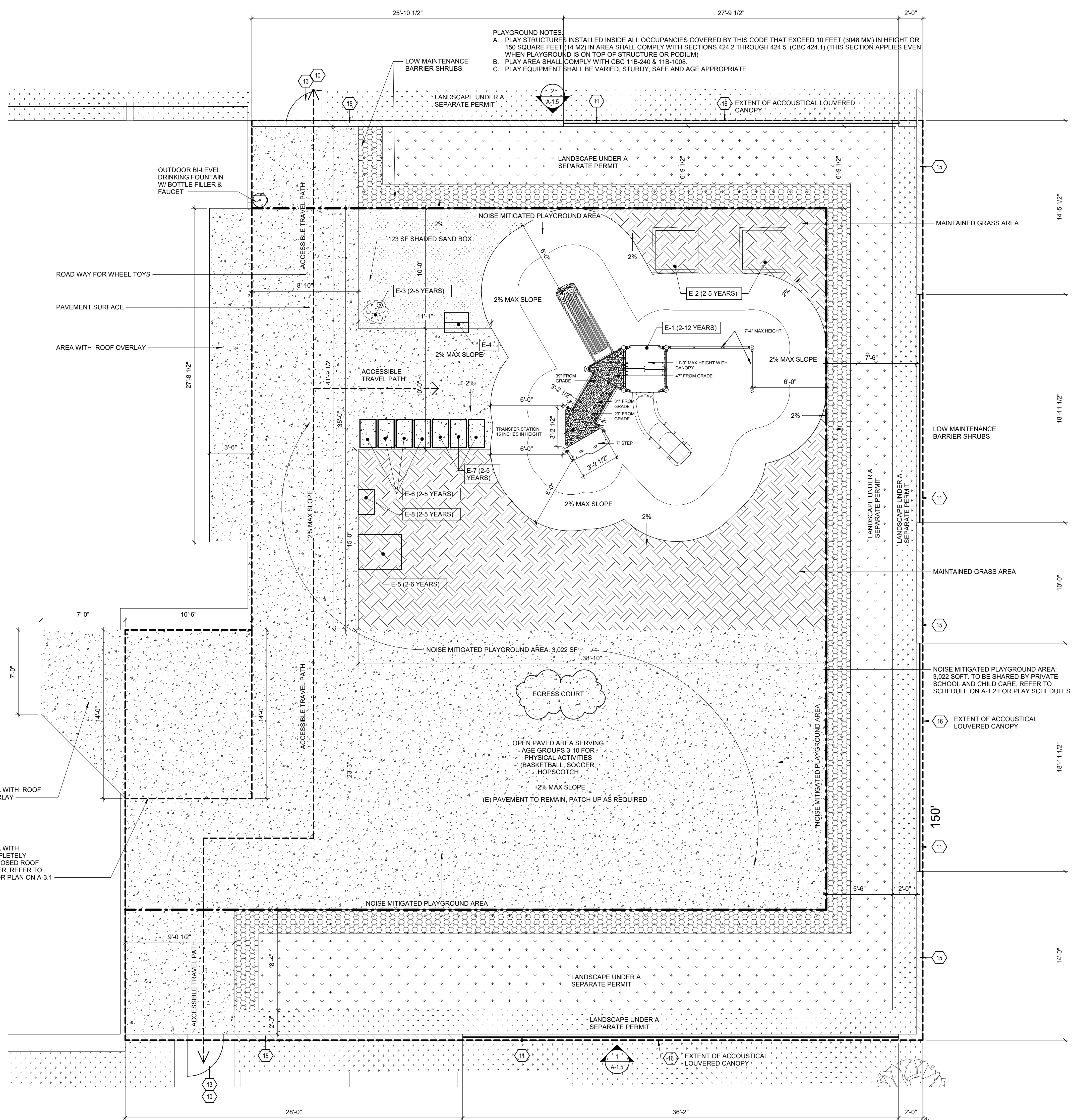
**PLAYGROUND SURFACE AREA BREAKDOWN:**  
 PAVEMENT: 1,660 SF  
 SAND: 123 SF  
 GRASS: 603 SF  
 RUBBER SAFETY SURFACE: 636 SF

### GENERAL NOTES - SITE PLAN NOTES

- ACCESSIBLE PARKING AND PATH OF TRAVEL TO BE UPGRADED AS NEEDED PER ADA COMPLIANCE REQUIREMENTS.
- AREA OF ALTERATION SHALL BE COMPLETELY ACCESSIBLE PER ADA COMPLIANCE REQUIREMENTS.

### SHEET KEYNOTES

- Any other partitions or elements surrounding the area shall have a minimum attenuation of 15 fencelers or louvers (Minimum IL shown Below). And STC 35 for walls and STC 30 for doors; avoid flanking or noise gaps filtration. Open spaces without treatment are not permitted.
- (N) ORNAMENTAL METAL SECURITY FENCE (UNDER SEPARATE PERMIT)
- (N) METAL ORNAMENTAL GATE PAINTED BLACK. THE EXTERIOR YARD GATE MUST HAVE A KNOX BOX KEYS TO BOTH OCA AND IRVINE PD (UNDER SEPARATE PERMIT)
- (N) CMU WALL - FINISH W. SMOOTH STUCCO, COLOR TO MATCH (E) EXTERIOR BUILDING WALLS. REFER TO ELEVATIONS FOR HEIGHT (UNDER SEPARATE PERMIT)
- (N) FIXED POT/ROFF 12" PROFILE ACCOUSTICAL LOUVER GRILL CANOPY, 60% OPEN, PAINTED GREEN, 4,609 SF TOTAL (UNDER SEPARATE PERMIT)



### Play Area Accessibility Checklist

KEEP A COPY OF THIS FORM FOR YOUR RECORDS.

Site Name: ARK ACADEMY PLAYGROUND  
 Age Group: 2-12  
 Date: 02/01/2026  
 Prepared By: ALI JABER

Item Number / Name	Play Activity	Elevated	Accessible	Ground	Accessible	Ground Level Play Type
YOSEMITE WITH ROOF	CLIMBER					PHYSICAL
	PIPE LADDER					PHYSICAL
	CURVED SLIDE					PHYSICAL
	SLIDE					PHYSICAL
	ACCESSIBLE STAIRWAY					PHYSICAL
SPLASH TABLE						EXPERIMENTING
ROTATING SAND TABLE						EXPERIMENTING
CAPE COTTAGE PLAYHOUSE TAN						PRETENDING
COZY COUPE						PHYSICAL
RADIO FLYER RED RIDER TRIKE						PHYSICAL
LITTLE TIKES EASY SCORE						PHYSICAL
<b>TOTALS</b>		2	2	9	9	3

**NOTE:** If elevated play components exceed 15, the play area requires a ramp structure. <https://www.access-board.gov/ada/guides/chapter-10-play-areas/when-ramps-are-required>. ADA 2010, 1008.2, Exception #1.

**Accessible Elevated Activities Required:** 1 (50% elevated activities must be accessible)

**Accessible Ground Level Activities Required:** 2 (See table for accessibility requirements)

**Accessible Ground Level Play Types Required:** 2 (See table and compare to total number of different ground level play types. The larger number is the number of ground level play types that must be accessible)

**NOTE:** If a ground level play type is present but not accessible and it is the ONLY ONE, an additional ground level play component with the same play type MUST BE PROVIDED IN THE PLAY AREA TO OFFER EQUITY. (ADA2010, Chapter 2: Scoping Requirements, 2402.1.1 Minimum Number and Types)

### ARK Academy PLAYGROUND SCHEDULE (with number of students)

TIME	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5
8:45 AM	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten
9:00 AM	24	24	24	24	24
9:15 AM		Grade 2		Grade 3	
9:30 AM		Physical Education		Physical Education	
9:45 AM		12		12	
10:00 AM					
10:15 AM	Kindergarten	Kindergarten	Kindergarten	Kindergarten	Kindergarten
10:30 AM	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor
10:45 AM	Grade 5	Grade 5	Grade 5	Grade 5	Grade 5
11:00 AM	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor
11:15 AM	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2
11:30 AM	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor
11:45 AM	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten
12:00 PM	Free Play	Free Play	Free Play	Free Play	Free Play
12:15 PM	24	24	24	24	24
12:30 PM	Grade 5	Grade 5	Grade 5	Grade 5	Grade 5
12:45 PM	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor
1:00 PM	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2	Grade 1 & 2
1:15 PM	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor	Recess Time - Outdoor
1:30 PM	Kindergarten	Kindergarten	Kindergarten	Kindergarten	Kindergarten
1:45 PM	Physical Education	Physical Education	Physical Education	Physical Education	Physical Education
2:00 PM	15	15	15	15	15
2:15 PM	Grade 5	Grade 5	Grade 5	Grade 5	Grade 5
2:30 PM	Physical Education	Physical Education	Physical Education	Physical Education	Physical Education
2:45 PM	10	10	10	10	10
3:00 PM	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten	Pre-Kindergarten
3:15 PM	24	24	24	24	24
3:30 PM	Grade 5	Grade 5	Grade 5	Grade 5	Grade 5
3:45 PM	Physical Education	Physical Education	Physical Education	Physical Education	Physical Education
4:00 PM	12	12	12	12	12

**ENLARGED OUTDOOR PLAY AREA**  
 SCALE: 1/4" = 1'-0"

**DATE:** 06/03/26  
**CASE #:** 00979733-PPA

**CITY OF IRVINE APPROVED**  
**S. ZEPEDA**

**CASE PLANNER**

**Table 240.2.1.2**

Number of elevated play components provided	Minimum number of ground-level play components required to be on accessible route	Minimum number of different types of ground-level play components required to be on accessible route
1	Not applicable	Not applicable
2 to 4 (2) PROPOSED	1 (2) PROVIDED	1 (3) PROVIDED
5 to 7	2	2
8 to 10	3	3
11 to 13	4	3
14 to 16	5	3
17 to 19	6	3
20 to 22	7	4
23 to 25	8	4
More than 25	8 plus 1 for each additional 3 over 25, or fraction thereof	5

### PLAY EQUIPMENT LEGEND

ITEM	DESCRIPTION	DETAIL	MATERIAL / MODEL	MANUFACTURER	COLOR	FINISH	NOTES
E-1	YOSEMITE WITH ROOF	1/A-1.3	PCE111734)	KOMPAN - 714-293-5056	MEDIUM GREEN	PER MANUFACTURER	
E-2	SPLASH TABLE	2/A-1.3	NR0506-0601	KOMPAN - 714-293-5056	ROBINA UNIT WOOD	PER MANUFACTURER	
E-3	ROTATING SAND TABLE	3/A-1.3	PCM501	KOMPAN - 714-293-5056	MEDIUM GREEN	PER MANUFACTURER	
E-4	TRANSFER STATION	4/A-1.3	Model #126205	LANDSCAPE STRUCTURES	TAN	PER MANUFACTURER	
E-5	CAPE COTTAGE PLAYHOUSE TAN	5/A-1.3	653568	LITTLE TIKES - 1-800-321-0183	TAN	PER MANUFACTURER	
E-6	COZY COUPE	6/A-1.3	642302	LITTLE TIKES - 1-800-321-0183	RED	PER MANUFACTURER	
E-7	RADIO FLYER RED RIDER TRIKE	7/A-1.3	ASIN: B00TLFTEUC	RADIO FLYER - 1-800-621-7613	RED	PER MANUFACTURER	
E-8	LITTLE TIKES EASY SCORE	8/A-1.3	ASIN: B01C5A2WJO	LITTLE TIKES - 1-800-321-0183	RED	PER MANUFACTURER	
E-9						PER MANUFACTURER	
E-10						PER MANUFACTURER	





SEAL

DATE: 02/01/2026

PROJECT: ARK ACADEMY - PRIVATE ELEMENTARY SCHOOL & CHILD CARE PLAYGROUND

17701 MITCHELL N. IRVINE, CA 92614

CLIENT: ARK ACADEMY

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Case number: 00979733-PPA SHEET

FOR REFERENCE ONLY A-1.4

The project is compatible with surrounding land uses, which include a mix of office, industrial, and residential uses. The hours of operation would be between 8:45 a.m. and 6:45 p.m., consistent with the nature of surrounding offices and residential uses. With the inclusion of administrative relief from standards related to outdoor play space, the project complies with all applicable 5.1 IBC Multi-Use zoning district standards. Therefore, the proposed use is in accord with the objectives of Chapter 1-1 of the Zoning Ordinance and the purpose of the land use category in which it is located.

B. The proposed conditional use will not be detrimental to the public health, safety or welfare, nor be materially injurious to property or improvements in the vicinity.

The project has been reviewed for potential impacts on the surrounding community and the safety of future students, with particular attention to site circulation, noise exposure, and environmental health considerations. These factors have been evaluated through supporting technical studies prepared for the project, which demonstrate that, with proposed measures and design features, the project will operate in a manner that is compatible with surrounding uses and protective of public health and safety.

A Noise Study prepared by FMC Design in May 2025 identified existing and projected noise levels within the proposed outdoor play area. The Noise Study determined the baseline exterior conditions at the outdoor play area exceed the City's 65 weighted decibel, Community Noise Equivalent Level (dBA CNEL) criterion. To address this exceedance, the applicant will install a lowered canopy system over the outdoor play area. The Noise Study's predictive model demonstrates that the lower design would reduce sound levels to levels within compliance. Additionally, landscaping adjacent to the canopy is included as supplemental noise mitigation. Conditions of approval require the installation of the lower configuration that yields the greatest modeled attenuation while maintaining the highest feasible open setting and postconstruction field verification to confirm that exterior playground levels meet City standards, with corrective measures required if necessary (Condition 3.5). With these measures, the outdoor play area will operate within the City's exterior noise limits and will ensure there are no negative impacts to public health and safety.

Additionally, a Health Risk Assessment (HRA) prepared in December 2024 evaluated potential exposure of sensitive receptors to air toxics from surrounding land uses and facilities. The HRA found no proximate high-risk sources of toxic air contaminants (e.g., freeway/airport roadways, rail yards, ports, refineries, distribution centers, chrome plating facilities, dry cleaners, or large gas stations) that would expose on-site sensitive receptors to substantial pollutant concentrations. As such, the project is not expected to create air exposure sensitive receptors to create significant health risks associated with toxic air contaminants.

An Access Study prepared for this project confirmed that no adverse impacts to street capacity, turning movements, or access will result from this project. Additionally, the project provides 26 on-site parking spaces, exceeding the minimum requirement of 23 spaces for the combined child care and private school use. The site has also been designed with a one-way circulation lane and adequate on-site queuing capacity to accommodate student drop-off and pick-up, reducing the potential for vehicle queuing on Mitchell North. Condition No. 6.26 further requires two staff members to manage and supervise the circulation process during arrival and dismissal periods to ensure safe and efficient operations. The project also includes a lowered canopy over the playground to provide further attenuation for students during outdoor activities. The proposed canopy complies with all applicable setback and height standards of the Zoning Ordinance, ensuring no impacts to adjacent properties.

The project has been designed and conditioned to operate without creating adverse effects on the surrounding neighborhood or adjacent businesses. It will not generate odors, as no activities are proposed that involve food service, industrial processes, or other odor-producing operations. All site lighting will be designed and directed in compliance with City standards to avoid spill-over onto adjacent properties, ensuring that intrusive lighting will not affect nearby uses. The applicant has adequately addressed parking, queuing conflicts, odors, intrusive lighting and other factors that would adversely impact the surrounding neighborhood or nearby businesses through design considerations related to circulation, outdoor play, and landscaping.

Therefore, the project incorporates the necessary operational measures and physical improvements to prevent negative impacts and is consistent with the intent of the Zoning Ordinance and compatible with its setting.

SECTION 4. The findings required to be made by the Planning Commission for the approval of administrative relief from private school standards, as set forth by Section 2-2-13 of the Irvine Zoning Ordinance, are hereby made as follows:

A. The intent of Chapter 3-22 of the Zoning Ordinance is being preserved. Chapter 3-22 of the Zoning Ordinance establishes standards for private schools, including minimum site area, student capacity, circulation, and outdoor play space requirements. These provisions are intended to ensure that private schools provide safe, functional, and compatible facilities for students and surrounding uses. The project complies with all applicable requirements of Chapter 3-22, except for the requirement to provide a minimum of 116 square feet of outdoor play area per student.

The applicant proposes enrollment of 76 elementary students, requiring 8,116 square feet of outdoor play space. As designed, the site provides 3,022 square feet of outdoor area – equivalent to 39.76 square feet per student, which is 76.24 square feet less than the minimum required. To address this deficit, the applicant has proposed a staggered playground schedule demonstrating that no more than 27 first- and second-grade students would occupy the playground at one time. This would result in approximately 112 square feet per student, which is slightly below the 116 square feet per student standard. It is important to note that if enrollment for the first or second grade cohorts were reduced by just one student, the 116-square-foot standard would be satisfied. All other grade levels meet or exceed the standard under the staggered schedule. Given that the shortfall is negligible and the staggered scheduling approach ensures sufficient outdoor space for all other age groups, staff supports the applicant's proposed playground schedule as a condition of approval, the intent of Chapter 3-22 is being preserved.

B. The request will not negatively impact the surrounding neighborhood or adjacent businesses.

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The proposed project site is constrained by existing development and required site improvements, limiting the applicant's ability to provide fully separate play areas for all age groups. To address this limitation, the applicant has proposed a staggered play schedule that ensures preschool children and elementary school children will not occupy the play yard at the same time, which has been included as Condition 6.22. As a result, children of different age groups will not be present on the outdoor play area simultaneously, reducing the functional intent of the separation requirement—to provide safe and age-appropriate outdoor environments—is preserved. Therefore, with the implementation of the staggered play schedule, the intent of Chapter 3-10 would be preserved.

Therefore, the project incorporates the necessary operational measures and physical improvements to prevent negative impacts and is consistent with the intent of the Zoning Ordinance and compatible with its setting.

SECTION 4. The findings required to be made by the Planning Commission for the approval of administrative relief from private school standards, as set forth by Section 2-2-13 of the Irvine Zoning Ordinance, are hereby made as follows:

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The applicant proposes enrollment of 76 elementary students, requiring 8,116 square feet of outdoor play space. As designed, the site provides 3,022 square feet of outdoor area – equivalent to 39.76 square feet per student, which is 76.24 square feet less than the minimum required. To address this deficit, the applicant has proposed a staggered playground schedule demonstrating that no more than 27 first- and second-grade students would occupy the playground at one time. This would result in approximately 112 square feet per student, which is slightly below the 116 square feet per student standard. It is important to note that if enrollment for the first or second grade cohorts were reduced by just one student, the 116-square-foot standard would be satisfied. All other grade levels meet or exceed the standard under the staggered schedule. Given that the shortfall is negligible and the staggered scheduling approach ensures sufficient outdoor space for all other age groups, staff supports the applicant's proposed playground schedule as a condition of approval, the intent of Chapter 3-22 is being preserved.

B. The request will not negatively impact the surrounding neighborhood or adjacent businesses.

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Therefore, the project incorporates the necessary operational measures and physical improvements to prevent negative impacts and is consistent with the intent of the Zoning Ordinance and compatible with its setting.

SECTION 4. The findings required to be made by the Planning Commission for the approval of administrative relief from private school standards, as set forth by Section 2-2-13 of the Irvine Zoning Ordinance, are hereby made as follows:

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The applicant proposes enrollment of 76 elementary students, requiring 8,116 square feet of outdoor play space. As designed, the site provides 3,022 square feet of outdoor area – equivalent to 39.76 square feet per student, which is 76.24 square feet less than the minimum required. To address this deficit, the applicant has proposed a staggered playground schedule demonstrating that no more than 27 first- and second-grade students would occupy the playground at one time. This would result in approximately 112 square feet per student, which is slightly below the 116 square feet per student standard. It is important to note that if enrollment for the first or second grade cohorts were reduced by just one student, the 116-square-foot standard would be satisfied. All other grade levels meet or exceed the standard under the staggered schedule. Given that the shortfall is negligible and the staggered scheduling approach ensures sufficient outdoor space for all other age groups, staff supports the applicant's proposed playground schedule as a condition of approval, the intent of Chapter 3-22 is being preserved.

B. The request will not negatively impact the surrounding neighborhood or adjacent businesses.

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Provide a single outdoor play area rather than provide separate outdoor play areas for the child care center as required per Section 3-10-1(B) of the Zoning Ordinance; and

Provide 3,022 square feet of outdoor area where 8,116 square feet is required for the number of children proposed per Section 3-22-3(c)(a)(1) of the Zoning Ordinance; and

WHEREAS, the proposed conditional use permit for a child care center and private school is considered a "project" as defined by the California Environmental Quality Act (CEQA); and

WHEREAS, on August 28, 2025, notice of the September 18, 2025, Planning Commission public hearing was posted at the project site and at City-designated locations and mailed to all property owners and residential occupants within 500 feet of the project site; and

WHEREAS, the Planning Commission of the City of Irvine has considered information presented by the applicant, the Community Development Department, and other interested parties at a public hearing held September 18, 2025.

NOW, THEREFORE, the Planning Commission of the City of Irvine, DOES HEREBY RESOLVE as follows:

SECTION 1. The above recitals are true and correct and are incorporated herein.

SECTION 2. Pursuant to Section 4 of the City of Irvine CEQA procedures and Article 19 of the State CEQA Guidelines, it has been determined that the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301 (Class 1), Existing Facilities, and Section 15303, Class 3, New Construction or Conversion of Small Structures, as the project would consist of minor alterations to an existing facility and construction of an accessory (appurtenant) patio structure.

SECTION 3. The findings required to be made by the Planning Commission for the approval of administrative relief from child care center standards, as set forth by Section 2-2-10 of the Irvine Zoning Ordinance, are hereby made as follows:

A. The intent of chapter 3-10 of the Zoning Ordinance is being preserved.

Chapter 3-10 of the Zoning Ordinance outlines the City's specific standards required for a child care center. These standards include, but are not limited to, interior and outdoor play area size requirements, specific surfaces that are required within the play areas, play equipment, wall and fence standards, as well as requirements for the provision of water fountains and restrooms. The project complies with all requirements specified in Chapter 3-10, with exception of the provision of separate outdoor play areas for different age groups.

SECTION 4. The findings required to be made by the Planning Commission for the approval of administrative relief from child care center standards, as set forth by Section 2-2-10 of the Irvine Zoning Ordinance, are hereby made as follows:

A. The intent of chapter 3-10 of the Zoning Ordinance is being preserved.

Chapter 3-10 of the Zoning Ordinance outlines the City's specific standards required for a child care center. These standards include, but are not limited to, interior and outdoor play area size requirements, specific surfaces that are required within the play areas, play equipment, wall and fence standards, as well as requirements for the provision of water fountains and restrooms. The project complies with all requirements specified in Chapter 3-10, with exception of the provision of separate outdoor play areas for different age groups.

SECTION 7. That the Secretary to the Planning Commission of the City of Irvine shall certify to the passage and adoption of this resolution and enter it into the book of original resolutions.

SECTION 8. If any section, subsection, subdivision, sentence, clause, phrase, or portion of this resolution is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, then such decision shall not affect the validity of the remaining portions of this resolution. The Planning Commission of the City of Irvine hereby declares that the Planning Commission would have adopted this resolution, and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared unconstitutional, invalid, or ineffective.

NOW, THEREFORE, based on the above findings, the Planning Commission of the City of Irvine DOES HEREBY APPROVE CONDITIONAL USE PERMIT 00921880-PCPU with administrative relief, subject to the following conditions:

PRIOR TO THE ISSUANCE OF GRADING PERMITS

Standard Condition 2.24 SOLID WASTE RECYCLING

Prior to the issuance of grading permits for a project that involves the demolition of an asphalt or concrete parking lot on-site, the applicant shall submit a waste management plan demonstrating compliance with the requirements of Title 6, Division 7 of the City of Irvine Municipal Code relating to recycling and diversion of demolition waste as applicable to said project. Over the course of demolition or construction, the applicant shall ensure compliance with all code requirements related to the use of City-authorized waste haulers.

Standard Condition 2.25 DIGITAL FILES - AUTOCAD

Prior to the issuance of a grading permit, the design engineer shall submit the drawings in DXF or AutoCAD .dwg file to the City.

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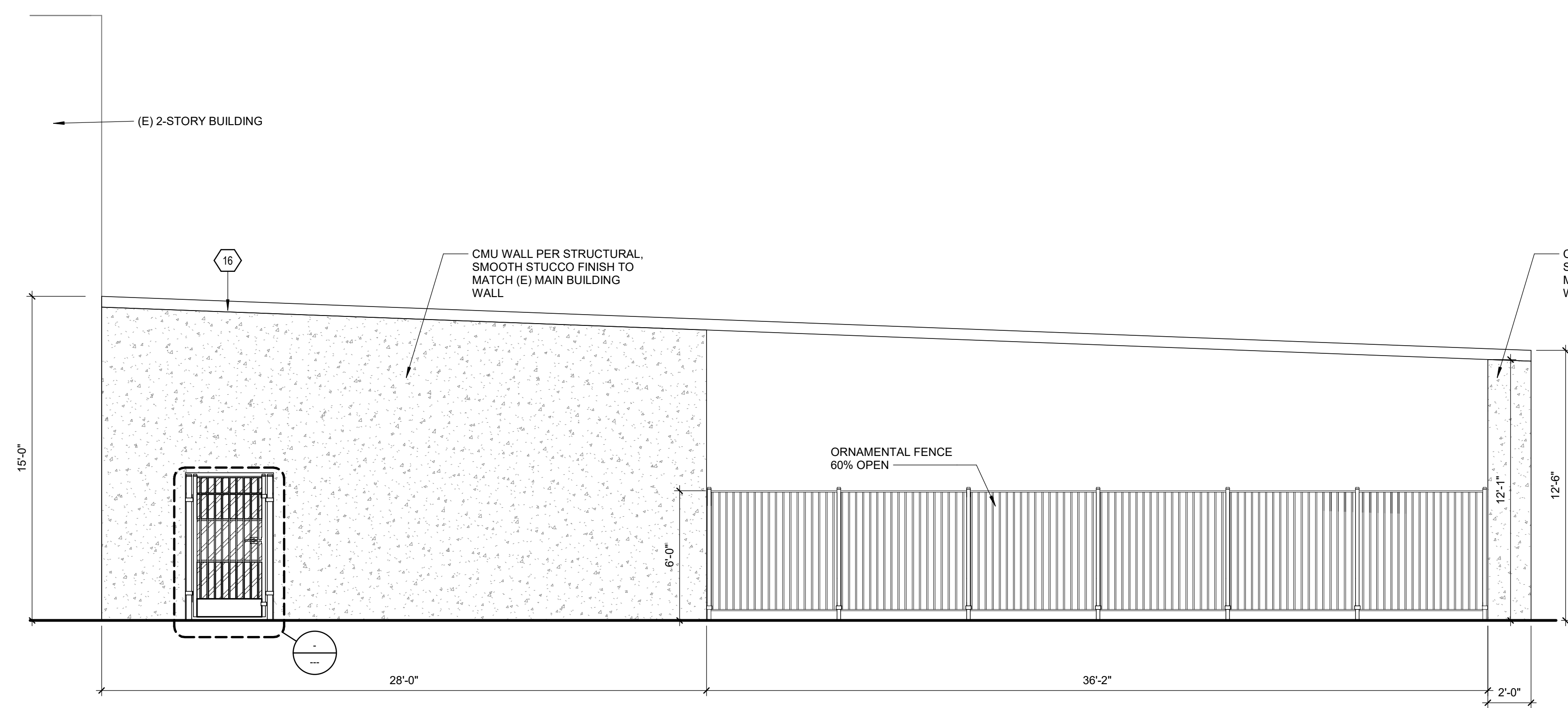
SEAL

DATE: 02/01/2026

PROJECT  
 ARK ACADEMY - PRIVATE  
 ELEMENTARY SCHOOL & CHILD  
 CARE PLAYGROUND  
 17701 MITCHELL N.  
 IRVINE, CA 92614

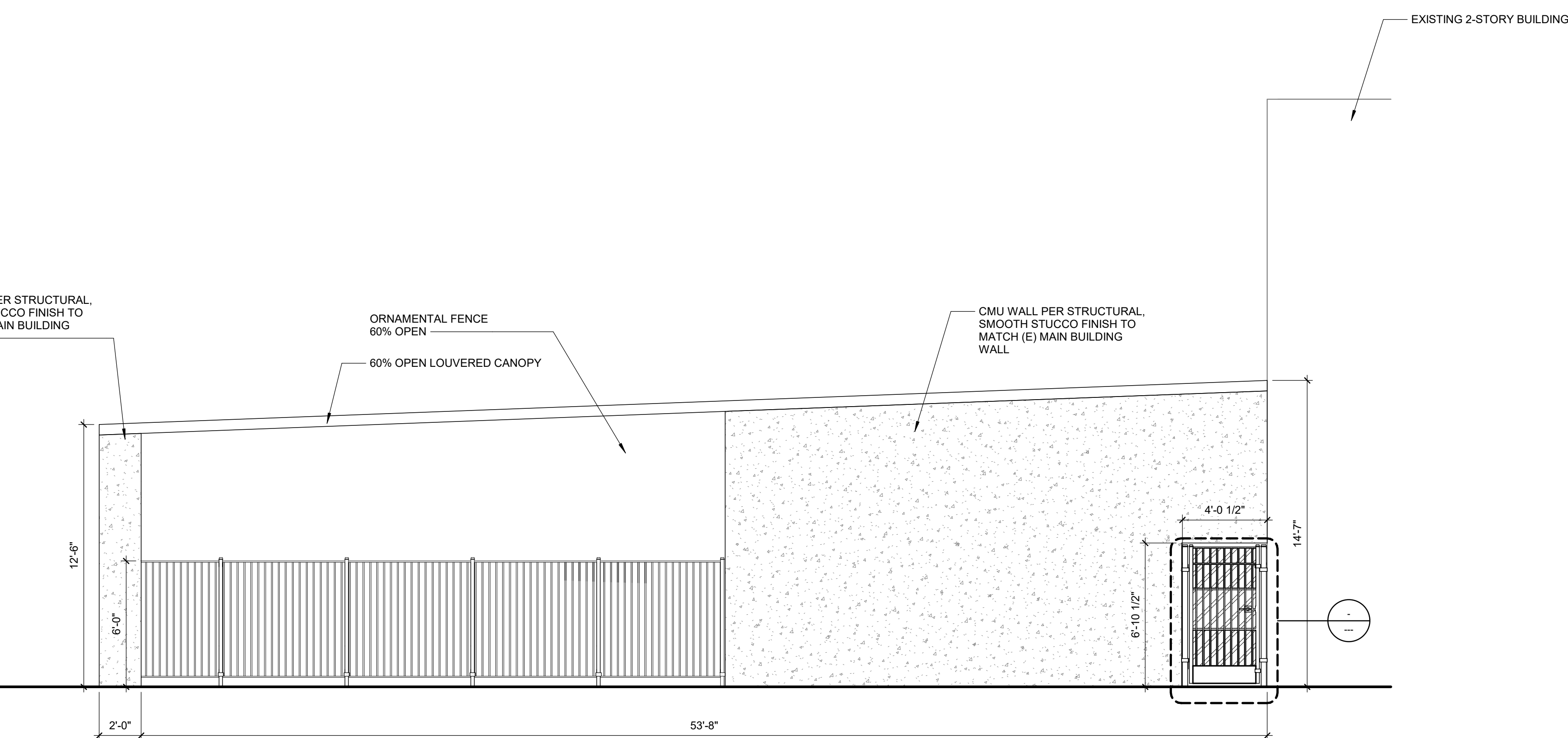
CLIENT  
 ARK ACADEMY

ISSUED		
MARK	DATE	DESCRIPTION



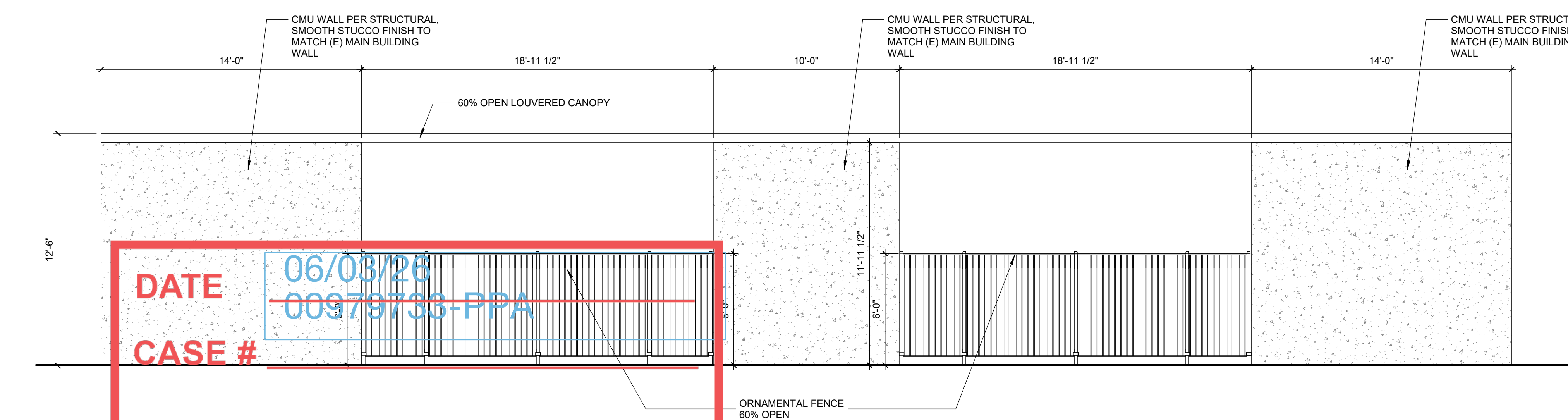
1 PROPOSED SOUTH ELEVATION - PLAYGROUND

SCALE 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION - PLAYGROUND

SCALE 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION - PLAYGROUND

SCALE 1/4" = 1'-0"

DATE 06/03/25  
 CASE # 00979733-PPA  
 CITY OF IRVINE APPROVED  
 IRVINE, CA  
 CASE PLANNER

FOR REFERENCE ONLY

TITLE  
 PLAYGROUND  
 CANOPY  
 ELEVATIONS

Case number: 00979733-PPA

SHEET

A-1.5