



June 9, 2026

Ms. Alison Morita
Delawie
1515 Morena Boulevard
San Diego, CA 92110

Sent Via Email

Subject: Approval of Minor Modification 00980970-PCPM to Site Plan 75-SD-0017, located at 5 Ethel Coplen Way in Planning Area 19 (Rancho San Joaquin)

Dear Ms. Morita:

Community Development Department staff reviewed 00980970-PCPM to Site Design 75-SD-0017 for a modification to the ancillary restaurant building at the Racquet Club of Irvine, a commercial athletic facility, located at 5 Ethel Coplen Way in Planning Area 19 (Rancho San Joaquin). The project site is designated Commercial Recreation in the General Plan and has a zoning designation of 4.4B Commercial Recreation.

In December 1975, the Planning Commission approved Site Design 75-SD-0017 for the Rancho San Joaquin Tennis facility with ancillary uses, including a 2,799-square-foot restaurant. The restaurant serves the club members of the commercial athletic court facility and is not open to the public.

The modification proposes to enclose a 943-square-foot covered patio, transitioning the space from exterior use to an interior dining area. With the additional square footage, the restaurant will be 3,722 square feet in size. The proposed improvements do not expand the overall footprint of the building's foundation but rather enclose an area of covered patio. The site will continue to meet all applicable development regulations including setbacks, building height, parking, landscaping, and site coverage.

Section 2-19-2 of the Irvine Zoning Ordinance contains criteria to determine when a proposed modification is classified as a "major modification." A major modification must be reviewed by the original approving authority at a public hearing. However, where none of the criteria are met, the application is a "minor modification" and reviewed by the Director of Community Development.

Based on the submittal, the Director of Community Development determines that the proposed modification does not meet any of the five criteria to be classified as a major modification. Therefore, the project is a minor modification for the following reasons.

1. Proposed addition, deletion, and/or relocation of approved structures and/or land uses which would cause significant or potentially significant environmental impacts, based on staff's analysis prepared in accordance with City policy.

The project will not remove or relocate approved structures or introduce new uses at the subject site that would cause significant environmental impacts. The project would enclose a 943-square-foot covered patio, transitioning the space to an interior dining area. The remodeled restaurant will continue to function as an ancillary use to the commercial athletic facility. The approved land uses on-site will remain consistent with the original approval. Therefore, the scope of this modification will not result in significant or potentially significant environmental impacts.

The project is exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1, Existing Facilities, which allows for the operation of, and minor alterations to, existing facilities involving negligible or no expansion of existing or former use. The proposed modification will allow existing uses to continue and does not involve exterior improvements.

2. Proposed addition, deletion and/or relocation of approved structures and/or land uses which would cause significant or potentially significant onsite and off-site traffic impacts, based on staff's analysis of the transportation issues prepared in accordance with City policy.

The modification does not propose significant changes to the approved buildings, project site, or land uses. The project proposes to enclose a 943-square-foot covered patio, transitioning the space from exterior space to interior dining area. The ancillary restaurant building is intended for members of the racquet club. As such, traffic patterns onsite and off-site and existing vehicular and pedestrian site access would not be impacted.

The City's Transportation Division also reviewed the project and determined that it will not have adverse impacts to onsite and off-site roadway networks. Therefore, the project is not anticipated to create any negative onsite or off-site traffic impacts.

3. The intent of the findings and conditions of approval for the approved project would not be preserved.

The proposed modification to the site will not conflict with the findings and conditions of the original approval. Site Design 75-SD-0017 permitted an athletic court facility with ancillary uses, which include the subject restaurant. The proposed modification does not change the nature of the onsite uses. The project is also conditioned to comply with all applicable conditions of approval from Minor Modification 00574503-PCPM. Therefore, the proposed modification is consistent with the intent of the findings and conditions of the original approval.

4. Proposed addition, deletion, and/or relocation of structures would result in an impact to or introduction of sensitive uses not previously considered within the site. This includes, but is not limited to, uses not previously considered such as childcare centers, schools, residences, and medical establishments.

The project will not impact or introduce sensitive uses not previously considered within the site. The site was approved for a restaurant that was ancillary to a commercial athletic facility as the primary use and will continue to be utilized for this approved use. Since no new land uses or activities are introduced by this modification, the project will not result in impacts to existing, or introduce new, sensitive uses that were not previously considered at the site.

5. Reconfiguration of the site plan resulting in: a) a significant reduction of landscaping; or b) a significant change in parking.

The modification proposes to enclose a 943-square-foot covered patio area to create a larger interior area for dining. There are no landscaping changes proposed as part of this project scope. The restaurant is considered ancillary to the primary use of “commercial athletic court facility” and does not require additional parking.

Based on the information submitted with this application, the Director of Community Development makes the following finding pursuant to Section 2-19-7 of the Irvine Zoning Ordinance and hereby approves Minor Modification 00980970-PCPM.

1. The modification does not alter or affect the intent of the findings and conditions of the original project approval.

The findings and conditions of approval for original Site Design 75-SD-0017 will not be affected by the proposed modification because the project does not result in a change of use, reduce parking below the applicable standard, cause a net loss of landscaping, or cause other significant changes that substantially alter the intent/purpose of that approval. This project is conditioned to comply with all applicable conditions of approval from the original approval. Therefore, the proposed modification is consistent with the intent of the findings and conditions of the original approval.

This approval is subject to the following conditions of approval:

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay

Ms. Alison Morita
June 9, 2026
Page 4 of 5

all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION - HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Condition 6.40

COMPLIANCE WITH PRIOR CONDITIONS

All applicable conditions of approval associated with the original approval (Site Design 75-SD-0017), and any subsequent approvals (Zoning Compliance 75-SD-0017) shall remain in full force and effect.

Unless an appeal is filed prior to the expiration of the five-business-day appeal period ending at 5 p.m. on Tuesday, June 16, 2026, the approval granted by this letter shall become effective Wednesday, June 17, 2026.

The stamped-approved plans for Minor Modification 00980970-PCPM are being transmitted electronically along with this letter. Should you wish to obtain a hard copy of the stamped-approved plans, please drop off a set of plans at the Planning Counter. Please note that permits cannot be issued until all fees associated with this application are paid in full.

Should you have any questions regarding this approval, please contact Associate Planner Adam Wong at 949-724-5491 or via email at adwong@cityofirvine.org.

Ms. Alison Morita
June 9, 2026
Page 5 of 5

Sincerely,

A handwritten signature in black ink that reads "Stephanie Frady". The signature is written in a cursive, flowing style.

Stephanie Frady, AICP
Director of Community Development

Enclosures:

1. Approved Project Plans
2. CEQA Exemption Notice

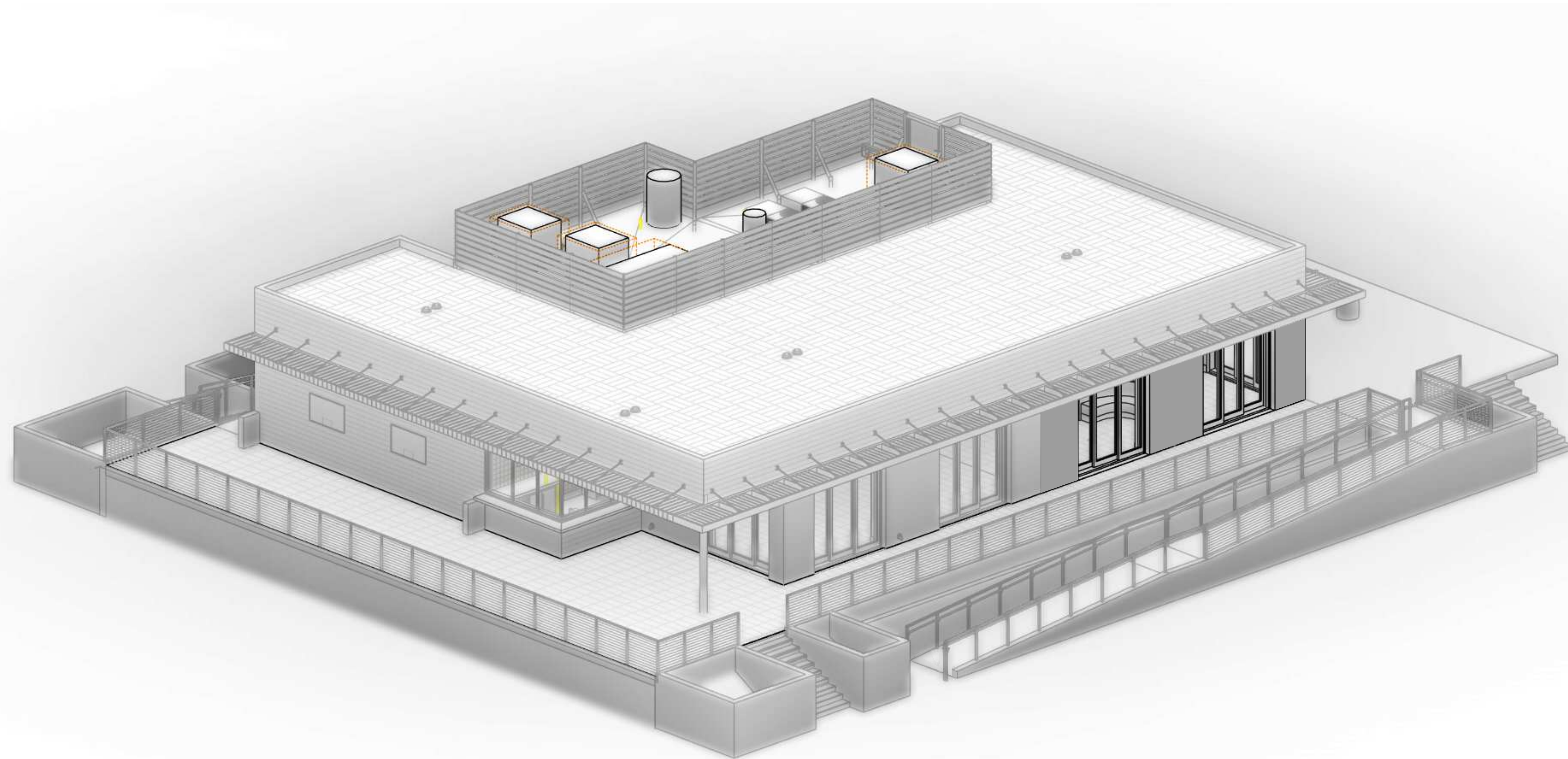
ec: Alyssa Matheus, Planning Manager
Ann Wu, Principal Planner
File(s): 00980970-PCPM; 00574503-PCPM; 75-SD-0017

RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

MINOR MODIFICATION - 05/18/2026

4/20/2026 11:19:10 AM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET INDEX - MINOR MOD

SHEET NUMBER	SHEET NAME
00-GENERAL	
G-001.2	COVER SHEET
G-101.2	EGRESS PLAN
CIVIL	
C-100.2	SITE HARDSCAPE GRADING
LANDSCAPE	
LC-101	CONSTRUCTION PLAN
LP-101	PLANTING PLAN
04-ARCHITECTURAL	
AS-100.2	OVERALL SITE PLAN
AS-101.2	ENLARGED SITE PLAN
A-101.2	FLOOR PLAN - LEVEL 01
A-102.2	ROOF PLAN
A-103.2	REFLECTED CEILING PLAN
A-200.2	ELEVATIONS
A-201.2	ELEVATIONS

PROJECT SUMMARY

THIS BUILDING SCOPE IS A MINOR MODIFICATION TO AN EXISTING CUP FOR THE ENCLASING OF 943 SF EXISTING COVERED PATIO (ALREADY APPROVED PLANS), TRANSITIONING FROM EXTERIOR USE TO INTERIOR USE (CONDITIONED SPACE). THE BUILDING'S TOTAL GROSS AREA REMAINS UNCHANGED. OCCUPANCY CALCULATIONS HAVE BEEN UPDATED TO REFLECT THIS REALLOCATION OF SPACE WHILE MAINTAINING COMPLIANCE WITH EGRESS AND LIFE-SAFETY REQUIREMENTS. NO GRADING IS INVOLVED.

PROJECT DATA

ADDRESS:	5 ETHEL COPLIN WAY IRVINE, CA 92612
APN:	453-241-01
LEGAL DESCRIPTION:	TRACT 74-3, LOT 1
CODE ENFORCEMENT JURISDICTION:	CITY OF IRVINE
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
YEAR CONSTRUCTED:	1981
EXISTING IMPROVEMENTS:	N/A
ZONING INFO:	4.4B COMMERCIAL RECREATING IN PLANNING AREA 19 - RANCHO SAN JOAQUIN
SITE AREA:	9.236 AC
POTENTIAL HISTORIC RESOURCE:	NO
DESIGNATED HISTORIC SITE:	NO

BUILDING CODE DATA

TYPE OF CONSTRUCTION	VB
OCCUPANCY CLASSIFICATION (CBC CHAPTER 3)	A-2
MIXED OCCUPANCY	NO
BUILDING HEIGHT ALLOWED:	40 FEET, 1 STORIES
ACTUAL:	21'-6", 1 STORIES
BUILDING AREA	
ALLOWABLE BUILDING AREA:	6,000 SF
PROPOSED BUILDING AREA:	2,779 SF
OCCUPANT LOAD	
REFER TO EGRESS PLANS FOR TABULATION.	
FIRE-RESISTANCE RATING REQUIREMENTS	
BUILDING ELEMENT	FIRE-RESISTANCE RATING (HRS)
[LIST BUILDING ELEMENTS FROM TABLE 601]	
PRIMARY STRUCTURAL FRAME	0
EXT. BEARING WALLS	0
INT. BEARING WALLS	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0
LIFE SAFETY SYSTEMS	
SPRINKLERS:	NO

City of Irvine
APPROVED
 By **A. Wong**
 CASE # 00980970-PCPM
 DATE 06/09/2026

RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC	Submittal
2	11/21/2025	CC	Resubmittal
3	12/12/2025	CC	Resubmittal-2
4	01/14/2026	CC	Resubmittal-3
	03/24/2026		Minor Modification
	04/24/2026		Minor Mod. Resubmittal
	05/18/2026		Minor Mod. Resubmittal-2

AREA AND OCCUPANCY CALCS

GROSS CONDITIONED AREA:
 KITCHEN + INDOOR DINING + INDOOR BAR + RR & UTIL
 TOTAL: 2,779 + 943 = 3,722 SF

EXTERIOR AREA:
 OUTDOOR DINING + COVERED DINING
 TOTAL: 2,588 - 843 = 1,645 SF

OCCUPANT LOAD (PER CBC):
 KITCHEN: 1,003 SF/200 = 6
 INDOOR DINING: 1,002 SF/15 = 67
 INDOOR BAR: 77 SF/7 = 11
 INDOOR TOTAL = 84 OCC

OUTDOOR COVERED DINING: 185 SF/15 = 13
 OUTDOOR TOTAL = 13 OCC
 TOTAL OCCUPANCY = 97 OCC

NOTE:
 ENCLOSED 943 SF OF EXISTING COVERED PATIO (TRANSITIONED FROM EXTERIOR USE TO INTERIOR USE). BUILDING'S TOTAL GROSS FLOOR AREA REMAINS UNCHANGED. OCCUPANCY CALCS UPDATED TO REFLECT REALLOCATION OF SPACE TO COMPLY WITH EGRESS AND LIFE-SAFETY REQUIREMENTS.

PLUMBING FIXTURES

97-OCC
 WATER CLOSETS
 (1 PER 25 OCCUPANTS FOR FIRST 50 & 1 PER 50 OCCUPANTS FOR 50+ OCC)

REQUIRED	PROVIDED
MALE: 1	2
FEMALE: 2	4

LAVATORIES
 (1 PER 40 OCCUPANTS FOR FIRST 50 & 1 PER 80 OCCUPANTS FOR 50+ OCC)

REQUIRED	PROVIDED
MALE: 1	1
FEMALE: 1	3

URINALS
 (1 PER 100 OCCUPANTS)

REQUIRED	PROVIDED
MALE: 1	1

DEFERRED APPROVALS

ANY ITEMS NOT SUBMITTED WITH THE CONTRACT DOCUMENTS FOR PLAN CHECK, AND THAT REQUIRE THE APPROVAL BY THE AUTHORITIES HAVING JURISDICTION SHALL BE CONSIDERED "DEFERRED APPROVALS" AND SHALL COMPLY WITH THE FOLLOWING:

107.3.4.1 DEFERRED SUBMITTALS:
 The deferred submittals hereto listed on the construction documents are presented for the review by the building official. Documents for deferred submittal items shall be submitted to the registered design professional in responsible charge who shall review them and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and been found to be in general conformance to the design of the building. The deferred submittal items shall not be installed until the deferred submittal documents have been approved by the building official. (OSHPD 1, 2 & 4) Deferred submittals shall be in accordance with Title 24, Part 1, Chapter 7, Section 7-126.

DEFERRED APPROVALS:
 1. ROOF TRUSSES
 2. GREASE HOOD FIRE SUPPRESSION SYSTEM
 3. FIRE ALARM

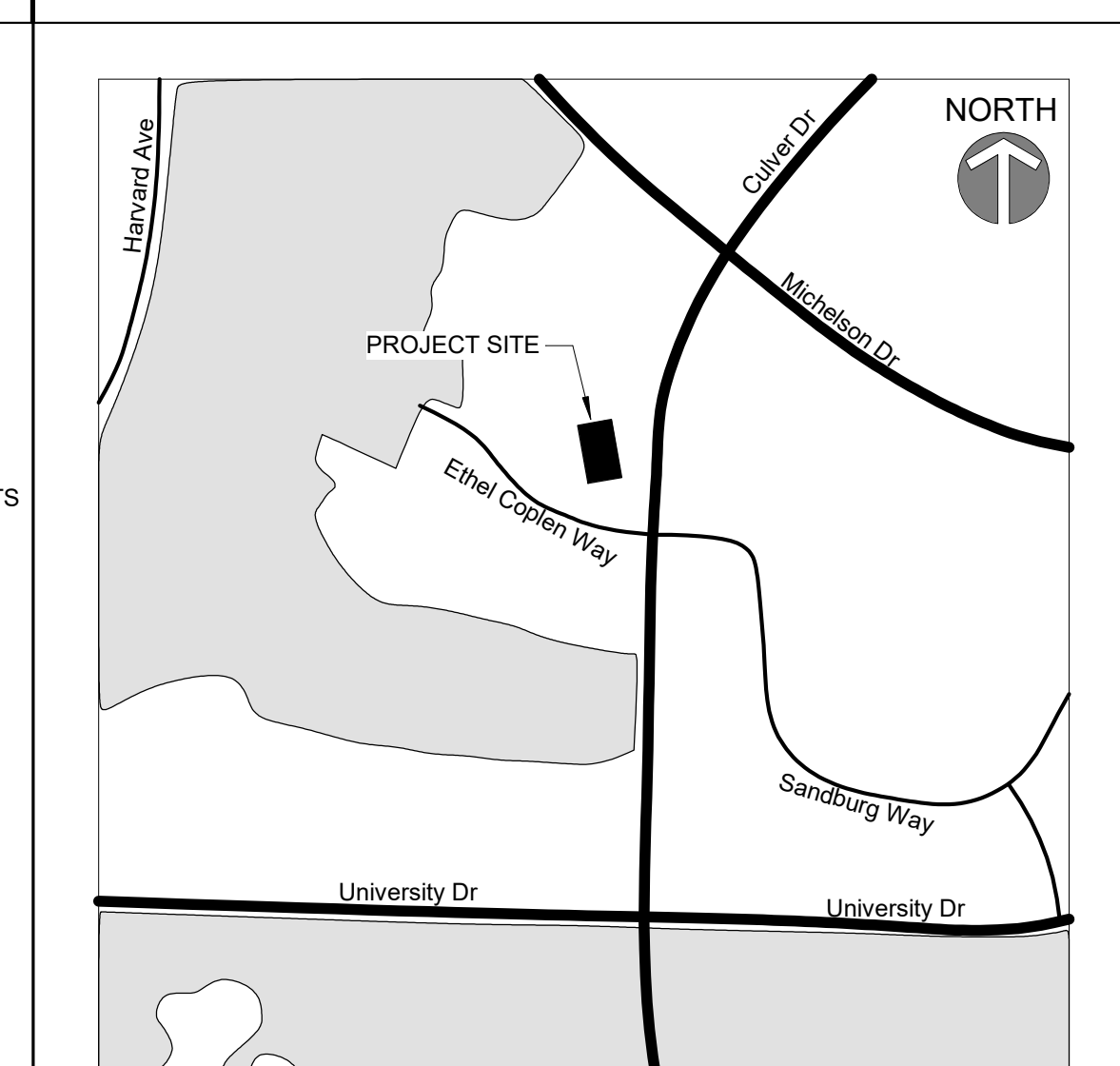
APPLICABLE CODES

- APPLICABLE CODES (WITH CITY OF IRVINE AMENDMENTS) & STANDARDS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- TITLE 24, PART 1, 2019 BUILDING STANDARDS ADMINISTRATIVE CODE
 - TITLE 24, PART 2, 2019 CALIFORNIA BUILDING CODE (CBC)
 - TITLE 24, PART 3, 2019 CALIFORNIA ELECTRICAL CODE
 - TITLE 24, PART 4, 2019 CALIFORNIA MECHANICAL CODE
 - TITLE 24, PART 5, 2019 CALIFORNIA PLUMBING CODE
 - TITLE 24, PART 6, 2019 CALIFORNIA ENERGY CODE
 - TITLE 24, PART 9, 2019 CALIFORNIA FIRE CODE
 - TITLE 24, PART 11, 2019 CALIFORNIA GREEN BUILDING STANDARDS
 - TITLE 19, PUBLIC SAFETY, STATE FIRE MARSHAL
 - AMERICAN WITH DISABILITIES ACT (ADA) LATEST EDITION

PROJECT DIRECTORY

OWNER/CLIENT VERDE INVESTMENTS, INC. 1720 WEST RIO SALADO PARKWAY TEMPE, AZ 85261 TEL: 602.820.8260 CONTACT: MATT BRUCKER EMAIL: mbrucke@verdeinvestments.com	ARCHITECT DELAWIE - LEO A DALY STUDIO 1515 MORENA BLVD SAN DIEGO, CA 92101 TEL: 619.299.6660 CONTACT: SAM BEARD EMAIL: sbearde@leoadaly.com CONTACT: ALISON MORITA EMAIL: amorita@leoadaly.com
STRUCTURAL ENGINEER KPFF CONSULTING ENGINEERING 3131 CAMINO DEL RIO NORTH, SUITE 1080 SAN DIEGO, CA 92108 TEL: 619.521.8500 CONTACT: GARRETT MISFUD EMAIL: garrett.misfud@kpff.com CONTACT: MAX SNOOK EMAIL: max.snook@kpff.com	LANDSCAPE ARCHITECT GROUND LEVEL LANDSCAPE ARCHITECTS 2805 STATE STREET, SUITE B SAN DIEGO, CA 92103 TEL: 619.326.1990 CONTACT: BRAD LENAHAN EMAIL: brenahan@groundlevelsd.com CONTACT: JASON JONES EMAIL: jjones@groundlevelsd.com
MECHANICAL/PLUMBING/ELECTRICAL ENGINEER ENGINOVA 13125 DANIELSON STREET SUITE 101 SAN DIEGO, CA 92064 TEL: (858) 228-4150 CONTACT: RYAN BERTALAN EMAIL: rbertalan@enginova.com CONTACT: MICHAEL CARLomagno EMAIL: mcarlomagno@enginova.com	FOOD SERVICE DESIGN ELITE FOOD SERVICE 1921 CARNESIE AVE, UNIT 3C SANTA ANA, CA 92705 TEL: 657.210.4512 CONTACT: TED LUNA EMAIL: ted@elitefsd.com CONTACT: ROBERT PERRY EMAIL: Rob@elitefsd.com

VICINITY MAP



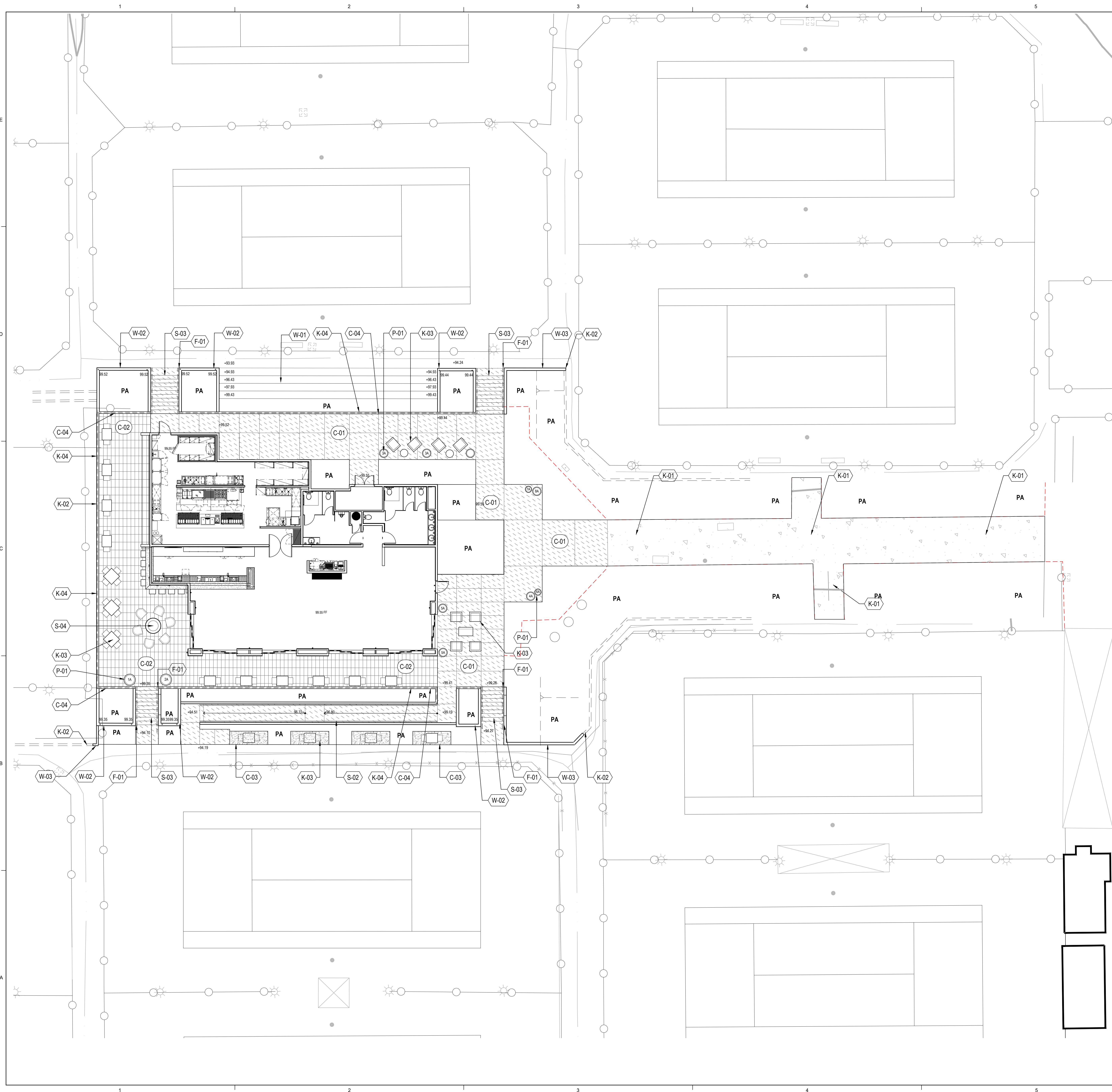
PROJECT CASE NUMBER: 00980970-PCPM

4/24/2026
MINOR MODIFICATION
Sheet Title

COVER SHEET

G-001.2

01/16/2025 4:52:17 AM
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.

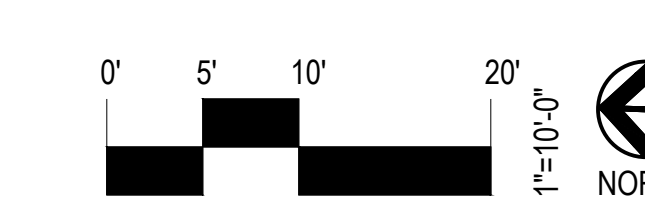


SYMBOL	CODE	DESCRIPTION	DETAIL
Concrete & Flatwork			
	C-01	DECORATIVE CONCRETE	
	C-02	TILE PAVING (ON CONCRETE BASE)	
	C-03	DECORATIVE CONCRETE #2	
	C-04	CONCRETE CURB FOR GUARDRAIL	4/LC-304
Fences Gates & Railings			
	F-01	HANDRAIL AT STEPS	
Keynotes			
	K-01	EXISTING CONCRETE TO PROTECT IN PLACE	
	K-02	EXISTING LOW RETAINING WALL TO REMAIN	
	K-03	SITE FURNITURE PER INTERIOR DESIGNER	
	K-04	RAILING PER ARCHITECT	
Planter Pots			
	P-01	PLANTER POT - SEE PLANTING SCHEDULE	
Site Items			
	S-01	UMBRELLA	
	S-02	ADA CONCRETE RAMP	
	S-03	CAST IN PLACE CONCRETE STAIR	
	S-04	FIREPIT	
Walls			
	W-01	CAST IN PLACE CONCRETE SEAT WALL 18" WIDE	5/LC-301
	W-02	MASONRY RETAINING WALL 8" WIDE	
	W-03	MASONRY CHEEKWALL 8" WIDE	

CONSTRUCTION SYMBOLS

SYMBOL	DESCRIPTION
	PROPERTY LINE
	LIMIT OF WORK
	SAWCUT JOINT
	ISOLATION JOINT (REFER TO DETAILS)
PA	PLANTING AREA
TYP	TYPICAL
EQ	EQUAL DISTANCE
	POINT OF BEGINNING
	CENTER LINE
	ALIGN
	TREE BOX
	EXISTING ROOF-DRAIN LOCATION
	EXISTING JUNCTION BOX LOCATION
	EXISTING AIR-CONDITIONING UNITS ON GRADE

City of Irvine
APPROVED
 BY **A. Wong**
 CASE # **00980970-PCPM**
 DATE **06/09/2026**



PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC Submittal	
2	11/21/2025	CC Resubmittal	
3	12/12/2025	CC Resubmittal-2	
4	01/14/2026	CC Resubmittal-3	
	03/24/2026	Minor Modification	
	04/24/2026	Minor Mod. Resubmittal	
	05/18/2026	Minor Mod. Resubmittal-2	

PROJECT CASE NUMBER: 00980970-PCPM

4/24/2026
MINOR MODIFICATION

Sheet Title
CONSTRUCTION PLAN

LC-101

4/20/2026 4:18:53 PM
ALL DIMENSIONS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-603
3. FOR CEILING TYPE AND DETAILS REFER TO ARCHITECTURAL SHEETS
4. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK
5. FOR FINISH LEGEND REFER TO SHEET I-601
6. REFER TO INTERIOR ELEVATIONS FOR FINISH LOCATION
7. ALL PRODUCTS USED FOR THE INTERIOR WORKS TO BE INSTALLED / APPLIED PER MANUF. RECOMMENDATIONS
8. PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS
9. ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY
10. ALL DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL MEET WITH FLAME PROPAGATION PERFORMANCE CRITERIA ON NFPA 701 IN ACCORDANCE WITH THE IBC OR BE NON COMBUSTIBLE
11. G.C. TO COORDINATE LOCATIONS OF ALL POWER / DATA FLOOR BOX LOCATIONS WITH DESIGNER / ELEC. AND FF&E PROVIDER
12. COORDINATE PLACEMENT OF ALL WALL ELEC. / DATA OUTLETS, SWITCHES, ETC. TO NOT CONFLICT WITH WALL / MILLWORK TREATMENT
13. REFER TO FIXTURE HEIGHT & ACCESSIBILITY NOTES SHEET FOR ACCESSIBILITY INFORMATION.
14. 1/4" ROOF SLOPE FOR DRAINAGE ALONG FLOW LINES PER CBC SECTION 1611
15. TWO COMPARTMENTS: 1. KITCHEN + DINING, 2. RESTROOM AND UTILITY RM. COMPARTMENT 1 = 1,954 SF AT 1/150 RATIO = 13,026 SF OF VENTILATION REQ'D. PROVIDE (6) 1' x 60" TOTAL INTAKE/EXHAUST VENTS. COMPARTMENT 2 = 492 SF AT 1/150 RATIO = 3,28 SF OF VENTILATION REQ'D. PROVIDE (3) 6' x 36" TOTAL INTAKE/EXHAUST VENTS.
16. CLASS A ROOF COVERINGS - THERMOPLASTIC MEMBRANE ROOFING: ONE PLY MEMBRANE, MECHANICALLY FASTENED, OVER INSULATION, UL (FRD) CLASS A.



RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

City of Irvine
APPROVED

BY **A. Wong**

CASE # **00980970-PCPM**

DATE **06/09/2026**

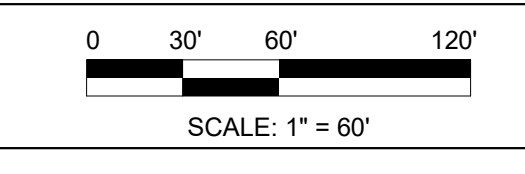
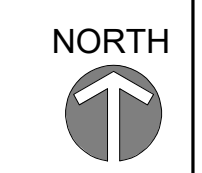
REV	DATE ISSUED	REASON
1	10/16/2025	CC Submittal
2	11/21/2025	CC Resubmittal
3	12/12/2025	CC Resubmittal-2
4	01/14/2026	CC Resubmittal-3
	03/24/2026	Minor Modification
	04/24/2026	Minor Mod. Resubmittal
	05/18/2026	Minor Mod. Resubmittal-2

PARKING COUNT

TYPE	DESCRIPTION	COUNT	COMMENTS

SITE PLAN LEGEND

- ACCESSIBLE PATH OF TRAVEL
- PROPERTY LINE
- EXISTING BUILDING TO REMAIN
- NEW BUILDING / RENOVATION



1 SITE PLAN - OVERALL - PHASE 2

A1 / A-200 1" = 60'-0"

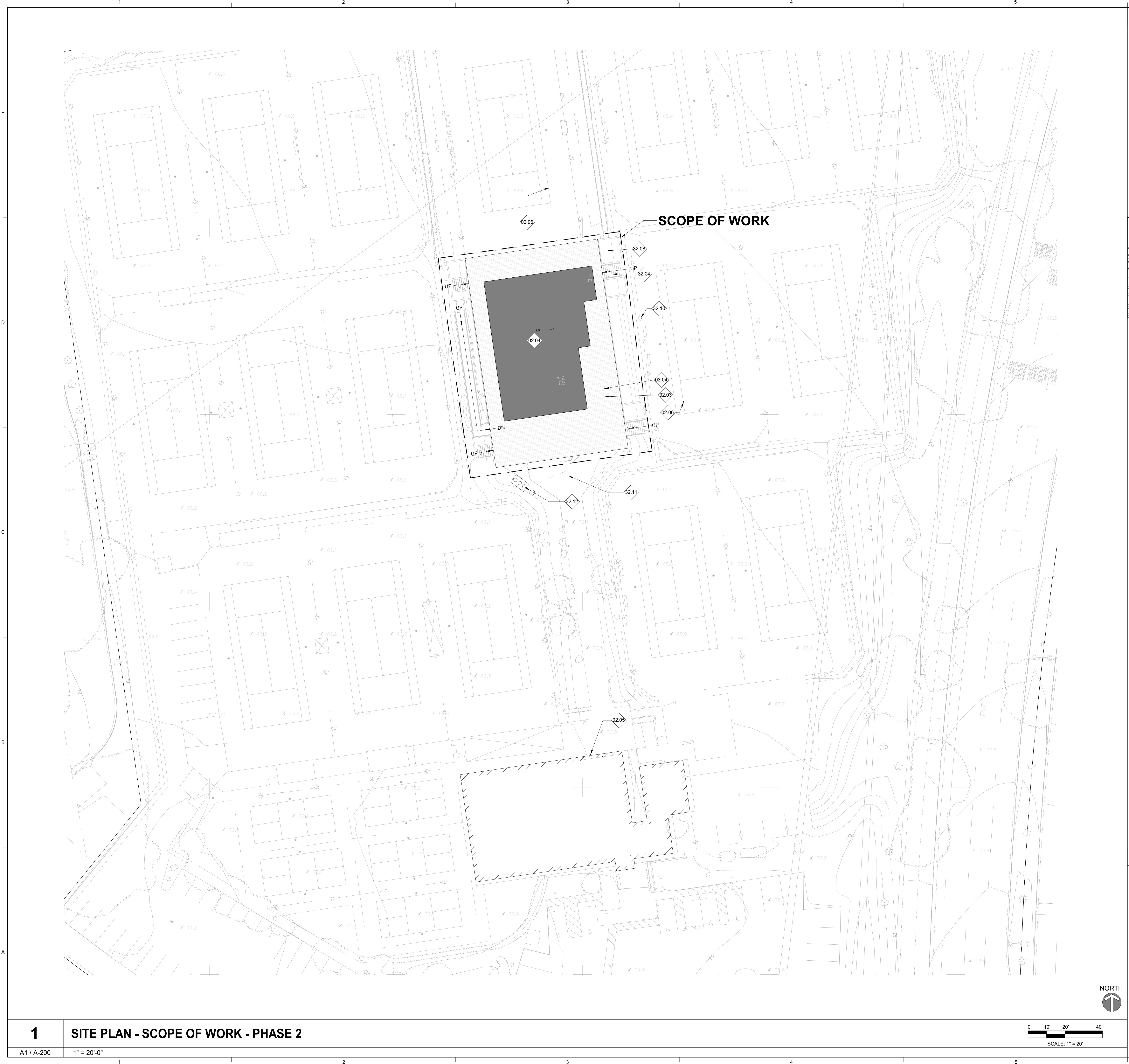
PROJECT CASE NUMBER:
00980970-PCPM

4/24/2026
MINOR MODIFICATION

OVERALL SITE PLAN

AS-100.2

4/24/2026 4:18:56 PM
ALL DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-603
3. FOR CEILING TYPE AND DETAILS REFER TO ARCHITECTURAL SHEETS
4. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK
5. FOR FINISH LEGEND REFER TO SHEET I-601
6. REFER TO INTERIOR ELEVATIONS FOR FINISH LOCATION
7. ALL PRODUCTS USED FOR THE INTERIOR WORKS TO BE INSTALLED / APPLIED PER MANUF. RECOMMENDATIONS
8. PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS
9. ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY
10. ALL DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL MEET WITH FLAME PROPAGATION PERFORMANCE CRITERIA ON NFPA 701 IN ACCORDANCE WITH THE IBC OR BE NON COMBUSTIBLE
11. G.C. TO COORDINATE LOCATIONS OF ALL POWER / DATA FLOOR BOX LOCATIONS WITH DESIGNER / ELEC. AND FF&E PROVIDER
12. COORDINATE PLACEMENT OF ALL WALL ELEC. / DATA OUTLETS, SWITCHES, ETC. TO NOT CONFLICT WITH WALL / MILLWORK TREATMENT
13. REFER TO FIXTURE HEIGHT & ACCESSIBILITY NOTES SHEET FOR ACCESSIBILITY INFORMATION.
14. 1/4" ROOF SLOPE FOR DRAINAGE ALONG FLOW LINES PER CBC SECTION 1611
15. TWO COMPARTMENTS: 1. KITCHEN + DINING, 2. RESTROOM AND UTILITY RM. COMPARTMENT 1 = 1,954 SF AT 1/150 RATIO = 13,026 SF OF VENTILATION REQ'D. PROVIDE (6) 1' x 60" TOTAL INTAKE/EXHAUST VENTS. COMPARTMENT 2 = 492 SF AT 1/150 RATIO = 3.28 SF OF VENTILATION REQ'D. PROVIDE (3) 6" x 36" TOTAL INTAKE/EXHAUST VENTS.
16. CLASS A ROOF COVERINGS - THERMOPLASTIC MEMBRANE ROOFING: ONE PLY MEMBRANE, MECHANICALLY FASTENED, OVER INSULATION, UL (FRD) CLASS A.

SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
02.04	(E) BUILDING WITH RETROFIT PER SCOPE OF WORK
02.05	(E) CLUBHOUSE BUILDING TO REMAIN
02.06	(E) TENNIS COURT TO REMAIN
03.04	(E) CONCRETE SLAB ON GRADE TO REMAIN. DEMO AREAS PER REVISED LAYOUT
32.03	NEW PAVERS OVER (E) CONCRETE SLAB
32.04	(E) CONCRETE STAIRS TO REMAIN
32.08	PLANTER WITH RAISED CONCRETE CURB
32.10	(E) LIGHT FIXTURE POLE TO REMAIN
32.11	(E) HARD LANDSCAPE WALKWAY
32.12	(E) GREASE INTERCEPTOR PER PLUMBING / CIVIL



RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC	Submittal
2	11/21/2025	CC	Resubmittal
3	12/12/2025	CC	Resubmittal-2
4	01/14/2026	CC	Resubmittal-3
	03/24/2026		Minor Modification
	04/24/2026		Minor Mod. Resubmittal
	05/18/2026		Minor Mod. Resubmittal-2

City of Irvine
APPROVED
 BY **A. Wong**
 CASE # **00980970-PCPM**
 DATE **06/09/2026**

SITE PLAN LEGEND

- ACCESSIBLE PATH OF TRAVEL
- PROPERTY LINE
- EXISTING BUILDING TO REMAIN
- NEW BUILDING / RENOVATION

PROJECT CASE NUMBER:
00980970-PCPM

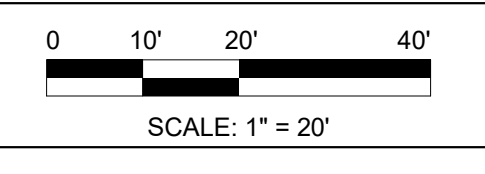
4/24/2026
MINOR MODIFICATION

ENLARGED SITE PLAN

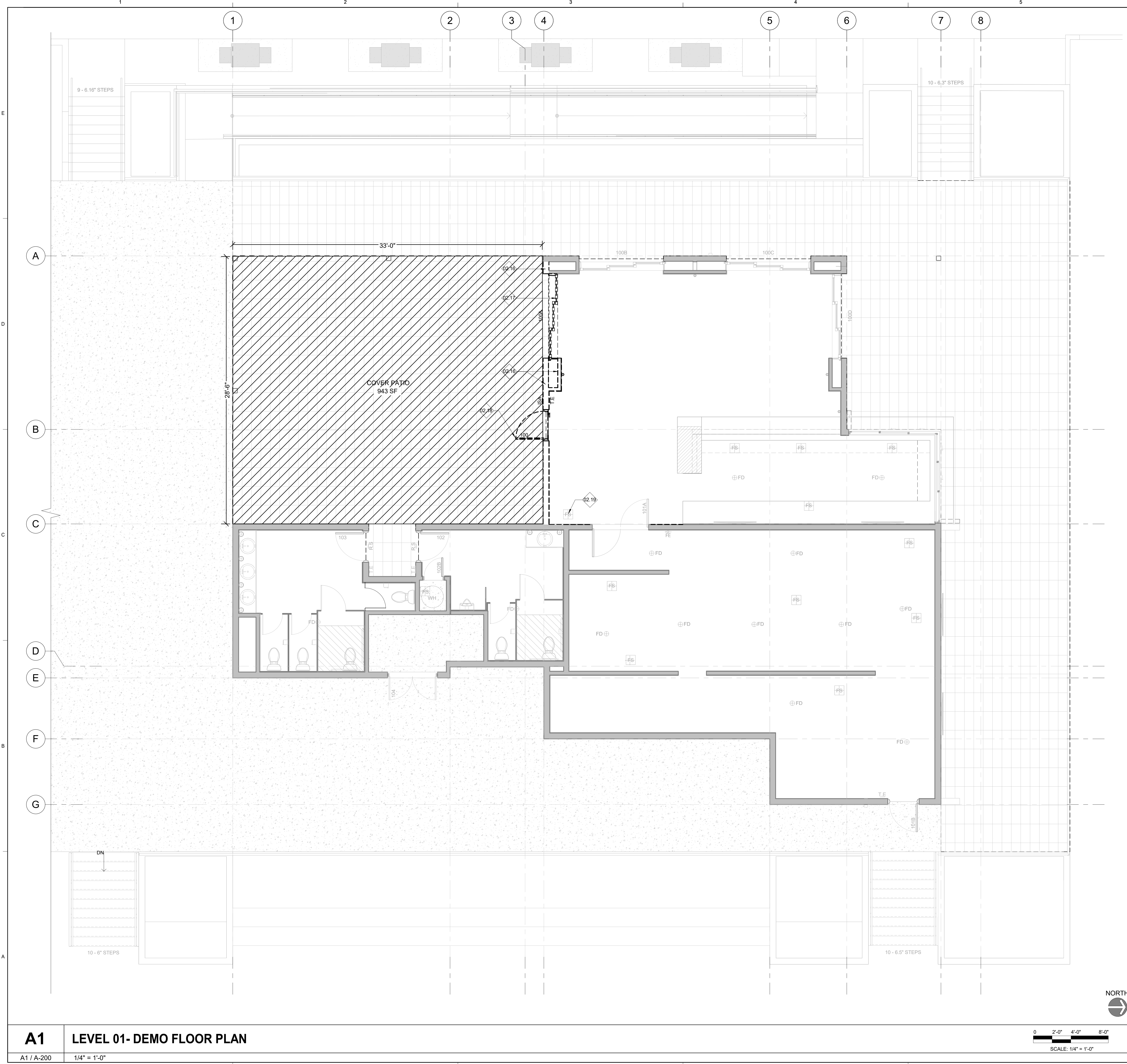
AS-101.2

1 SITE PLAN - SCOPE OF WORK - PHASE 2

A1 / A-200 1" = 20'-0"



4/29/2026 4:38:37 PM
ALL DIMENSIONS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-603
3. FOR CEILING TYPE AND DETAILS REFER TO ARCHITECTURAL SHEETS
4. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK
5. FOR FINISH LEGEND REFER TO SHEET I-601
6. REFER TO INTERIOR ELEVATIONS FOR FINISH LOCATION
7. ALL PRODUCTS USED FOR THE INTERIOR WORKS TO BE INSTALLED / APPLIED PER MANUF. RECOMMENDATIONS
8. PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS
9. ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY
10. ALL DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL MEET WITH FLAME PROPAGATION PERFORMANCE CRITERIA ON NFPA 701 IN ACCORDANCE WITH THE IBC OR BE NON COMBUSTIBLE
11. G.C. TO COORDINATE LOCATIONS OF ALL POWER / DATA FLOOR BOX LOCATIONS WITH DESIGNER / ELEC. AND FF&E PROVIDER
12. COORDINATE PLACEMENT OF ALL WALL ELEC. / DATA OUTLETS, SWITCHES, ETC. TO NOT CONFLICT WITH WALL / MILLWORK TREATMENT
13. REFER TO FIXTURE HEIGHT & ACCESSIBILITY NOTES SHEET FOR ACCESSIBILITY INFORMATION.
14. 1/4" ROOF SLOPE FOR DRAINAGE ALONG FLOW LINES PER CBC SECTION 1611
15. TWO COMPARTMENTS: 1. KITCHEN + DINING, 2. RESTROOM AND UTILITY RM. COMPARTMENT 1 = 1,954 SF AT 1/150 RATIO = 13,026 SF OF VENTILATION REQ'D. PROVIDE (6) 6" x 60" TOTAL INTAKE/EXHAUST VENTS. COMPARTMENT 2 = 492 SF AT 1/150 RATIO = 3,28 SF OF VENTILATION REQ'D. PROVIDE (3) 6" x 36" TOTAL INTAKE/EXHAUST VENTS.
16. CLASS A ROOF COVERINGS - THERMOPLASTIC MEMBRANE ROOFING: ONE PLY MEMBRANE, MECHANICALLY FASTENED, OVER INSULATION, UL (FRD) CLASS A.

SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
02.16	DEMO PORTION OF (E) WOOD FRAMING
02.17	RELOCATING MOVABLE WALL
02.18	RELOCATING DOOR
02.19	RELOCATING MEP FIXTURES

DEMO FLOOR PLAN LEGEND

- (E) WOOD STUD WALL TO REMAIN
- (E) DOOR TO REMAIN
- DEMOLISH WOOD STUD WALL
- DEMOLISH DOOR

City of Irvine
APPROVED

BY A. Wong

CASE # 00980970-PCPM

DATE 06/09/2026



RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC Submittal	
2	11/21/2025	CC Resubmittal	
3	12/12/2025	CC Resubmittal-2	
4	01/14/2026	CC Resubmittal-3	
	03/24/2026	Minor Modification	
	04/24/2026	Minor Mod. Resubmittal	
	05/18/2026	Minor Mod. Resubmittal-2	

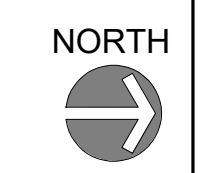
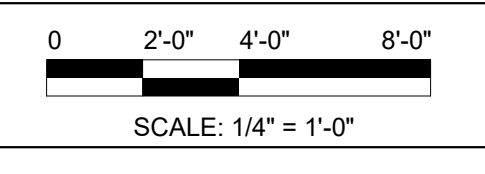
3/30/2026
CONSTRUCTION CHANGE-2

DEMO FLOOR PLAN - LEVEL 01

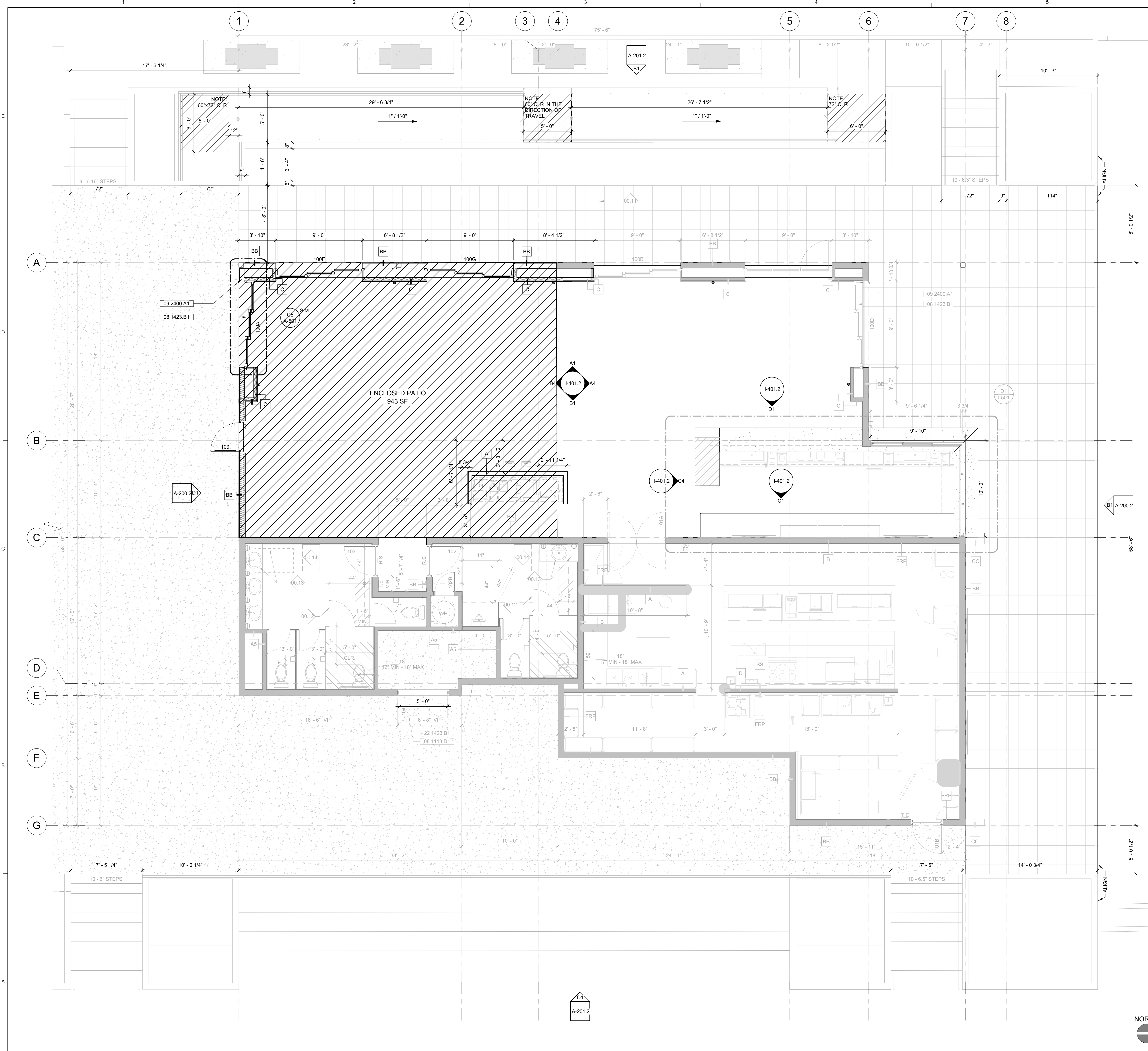
AD-101.2

A1 LEVEL 01- DEMO FLOOR PLAN

A1 / A-200 1/4" = 1'-0"



4/24/2026 5:39:09 PM
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-603
3. FOR CEILING TYPE AND DETAILS REFER TO ARCHITECTURAL SHEETS
4. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK
5. FOR FINISH LEGEND REFER TO SHEET I-601
6. REFER TO INTERIOR ELEVATIONS FOR FINISH LOCATION
7. ALL PRODUCTS USED FOR THE INTERIOR WORKS TO BE INSTALLED / APPLIED PER MANUF. RECOMMENDATIONS
8. PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS
9. ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY
10. ALL DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL MEET WITH FLAME PROPAGATION PERFORMANCE CRITERIA ON NFPA 701 IN ACCORDANCE WITH THE IBC OR BE NON COMBUSTIBLE
11. G.C. TO COORDINATE LOCATIONS OF ALL POWER / DATA FLOOR BOX LOCATIONS WITH DESIGNER / ELEC. AND FF&E PROVIDER
12. COORDINATE PLACEMENT OF ALL WALL ELEC. / DATA OUTLETS, SWITCHES, ETC. TO NOT CONFLICT WITH WALL / MILLWORK TREATMENT
13. REFER TO FIXTURE HEIGHT & ACCESSIBILITY NOTES SHEET FOR ACCESSIBILITY INFORMATION.
14. 1/4" ROOF SLOPE FOR DRAINAGE ALONG FLOW LINES PER CBC SECTION 1611
15. TWO COMPARTMENTS: 1. KITCHEN + DINING, 2. RESTROOM AND UTILITY RM. COMPARTMENT 1 = 1,954 SF AT 1/150 RATIO = 13,026 SF OF VENTILATION REQD. PROVIDE (6) 6" x 60" TOTAL INTAKE/EXHAUST VENTS. COMPARTMENT 2 = 492 SF AT 1/150 RATIO = 3,28 SF OF VENTILATION REQD. PROVIDE (3) 6" x 36" TOTAL INTAKE/EXHAUST VENTS.
16. CLASS A ROOF COVERINGS - THERMOPLASTIC MEMBRANE ROOFING: ONE PLY MEMBRANE, MECHANICALLY FASTENED, OVER INSULATION, UL (FRD) CLASS A.

SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
00.11	NEW PAVERS OVER (E) SLAB
00.12	PROVIDE AN AUTOMATIC-CLOSING DEVICE AT WATER CLOSET COMPARTMENT DOOR.
00.13	ADA COMPLIANT LAVATORY. REFER TO DETAILS ON FIXTURE HEIGHT & ACCESSIBILITY NOTES SHEET.
00.14	VERTICAL RECESSED SS BABY CHANGING STATION

REFERENCE KEYNOTES

NUMBER	KEYNOTE TEXT
08 1113 D1	EXTERIOR INSULATED HOLLOW METAL DOOR. SEE DOOR SCHEDULE
08 1423 B1	MOVABLE WALLS
09 2400 A1	3-COAT CEMENT PLASTERING SYSTEM WITH LATH
22 1423 B1	BRASS DOWNSPOUT NOZZLE

City of Irvine
APPROVED

BY A. Wong

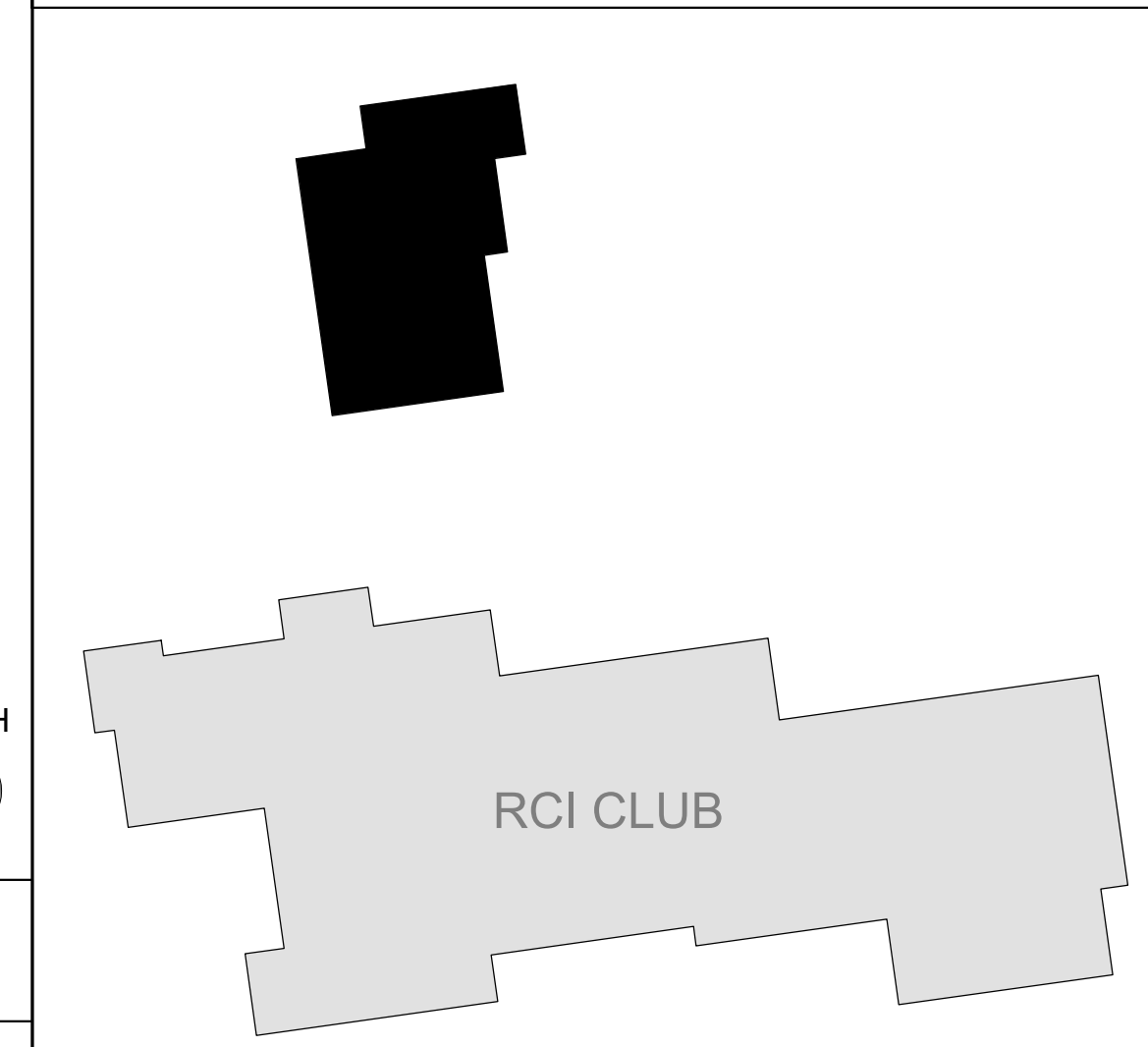
CASE # 00980970-PCPM

DATE 06/09/2026

FLOOR PLAN LEGEND

- (E) EXISTING WALL
- (N) NEW WALL
- CMU WALL - SEE STRUCTURAL DRAWINGS
- FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER
- WALL HUNG FIRE EXTINGUISHER
- CARD READER
- FLOOR SINK
- FLOOR DRAIN
- TACTILE EXIT SIGN
REFER TO SHEET E6 / G-005
- INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC 11B-216.6
REFER TO SHEET B4 / G-005
- RESTROOM SIGNAGE PER CBC 11B-703.7.2.6
REFER TO SHEETS E4 / G-005 AND D5 / G-005
- WATER HEATER PER PLUMBING DRAWINGS
MFG. AO SMITH MODEL BTL-199 100GAL. TANK, 199,000 BTUH, 85KW THERMAL EFFICIENCY, RECOVERY RATE OF 319 @60F TEMP RISE

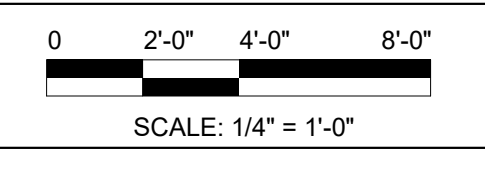
KEYPLAN - RCI RESTAURANT



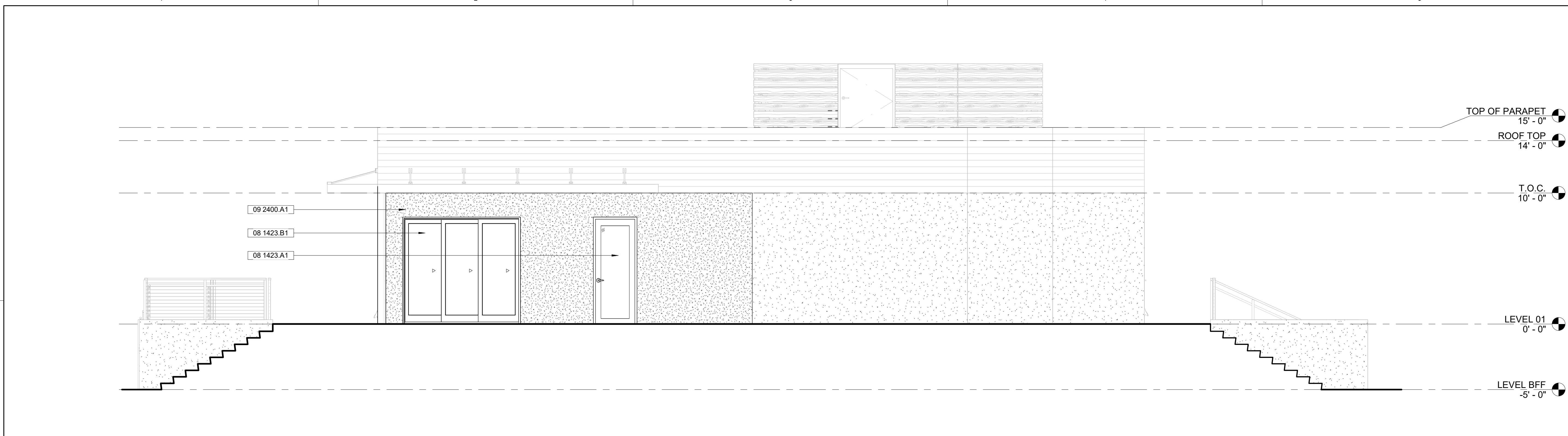
REV	DATE	ISSUED	REASON
1	10/16/2025	CC	Submittal
2	11/21/2025	CC	Resubmittal
3	12/12/2025	CC	Resubmittal-2
4	01/14/2026	CC	Resubmittal-3
	03/24/2026		Minor Modification
	04/24/2026		Minor Mod. Resubmittal
	05/18/2026		Minor Mod. Resubmittal-2

1 LEVEL 01- FLOOR PLAN - PHASE 2

A1 / A-200 1/4" = 1'-0"

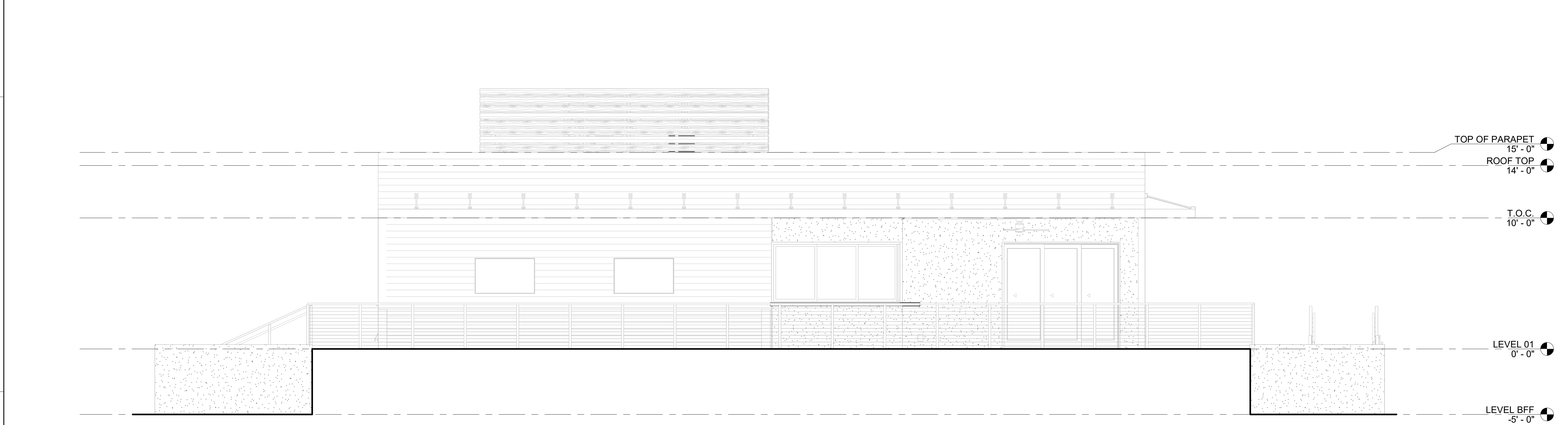


4/24/2026 4:19:07 PM
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE NOT TO BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



D1 SOUTH ELEVATION - PHASE 2

1 / A-101.2 1/4" = 1'-0"



B1 NORTH ELEVATION - PHASE 2

1 / A-101.2 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
2. FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-_____.
3. REFER TO ARCHITECTURAL FOR CEILING TYPE AND DETAILS.
4. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK.
5. PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS.
6. ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY.

SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
--------	-----------------

REFERENCE KEYNOTES

NUMBER	KEYNOTE TEXT
08 1423.A1	STYLE AND RAIL METAL CLAD DOOR
08 1423.B1	MULTI SLIDING METAL CLAD DOOR
09 2400.A1	3-COAT CEMENT PLASTERING SYSTEM WITH LATH



RACQUET CLUB OF IRVINE RESTAURANT

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC Submittal	
2	11/21/2025	CC Resubmittal	
3	12/12/2025	CC Resubmittal-2	
4	01/14/2026	CC Resubmittal-3	
	03/24/2026	Minor Modification	
	04/24/2026	Minor Mod. Resubmittal	
	05/18/2026	Minor Mod. Resubmittal-2	

City of Irvine
APPROVED
 BY A. Wong
 CASE # 00980970-PCPM
 DATE 06/09/2026

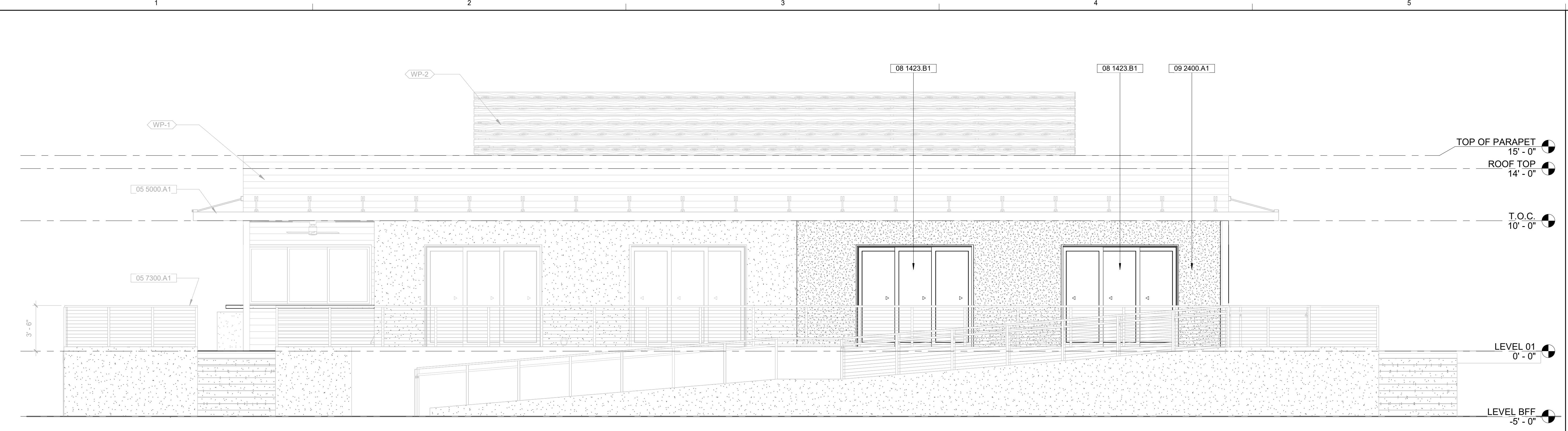
PROJECT CASE NUMBER:
00980970-PCPM

4/24/2026
MINOR MODIFICATION

Sheet Title
ELEVATIONS

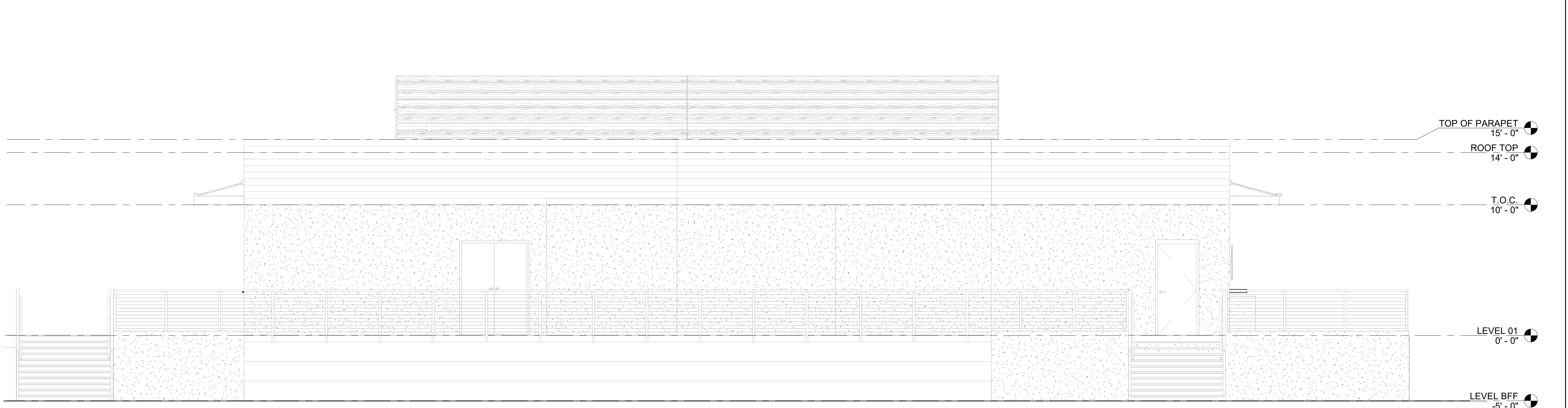
A-200.2

4/20/2026 4:19:00 PM
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE NOT TO BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



B1 WEST ELEVATION - PHASE 2

1 / A-101.2 1/4" = 1'-0"



D1 EAST ELEVATION - PHASE 2

1 / A-101.2 1/4" = 1'-0"

REFERENCE KEYNOTES	
NUMBER	KEYNOTE TEXT
05 5000.A1	POWDER COATED METAL TRELLIS & TUBULAR CANOPY FRAMING
05 7300.A1	DECORATIVE METAL CABLE RAILING SYSTEM
08 1423.B1	MULTI SLIDING METAL GLAD DOOR
09 2400.A1	3-COAT CEMENT PLASTERING SYSTEM WITH LATH

SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT

- GENERAL NOTES**
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
 - FOR WALL TYPES REFER TO ARCHITECTURAL SHEET A-101.2
 - REFER TO ARCHITECTURAL FOR CEILING TYPE AND DETAILS.
 - CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK.
 - PROVIDE BACKING FOR ALL WALL / CEILING MOUNTED ITEMS PER MFR. INSTRUCTIONS.
 - ALL METAL IN ANY APPLICATION FROM WITHIN THE PROJECT MUST BE RUST RESISTANT AND SUITABLE FOR THE LOCATION WITH A MIN 5 YEAR WARRANTY.

City of Irvine
APPROVED
 BY A. Wong
 CASE # 00980970-PCPM
 DATE 06/09/2026

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC Submittal	
2	11/21/2025	CC Resubmittal	
3	12/12/2025	CC Resubmittal-2	
4	01/14/2026	CC Resubmittal-3	
	03/24/2026	Minor Modification	
	04/24/2026	Minor Mod. Resubmittal	
	05/18/2026	Minor Mod. Resubmittal-2	

RACQUET CLUB OF IRVINE RESTAURANT

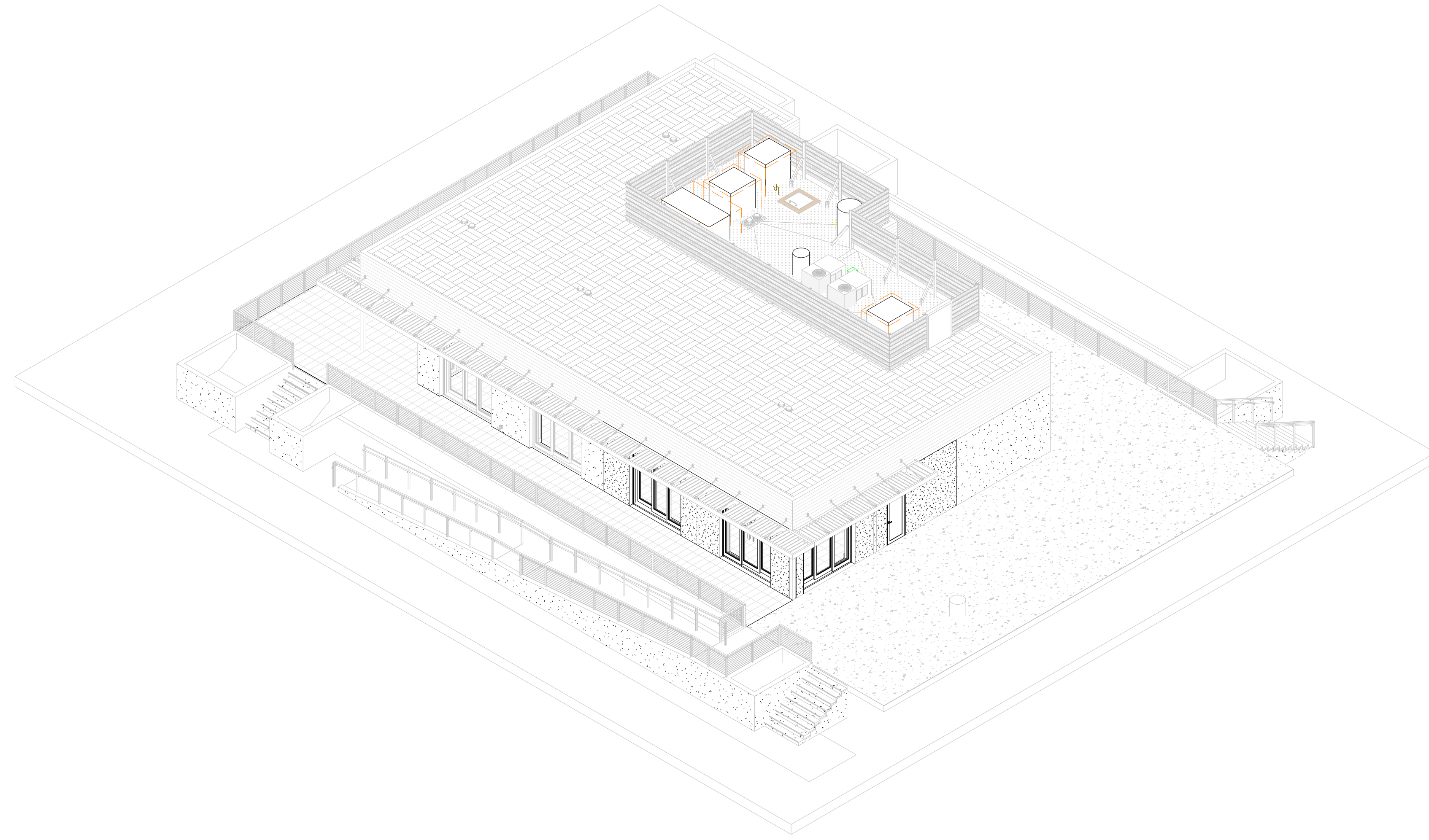
5 Ethel Coplen Way, Irvine, CA 92612

PROJECT CASE NUMBER:
00980970-PCPM

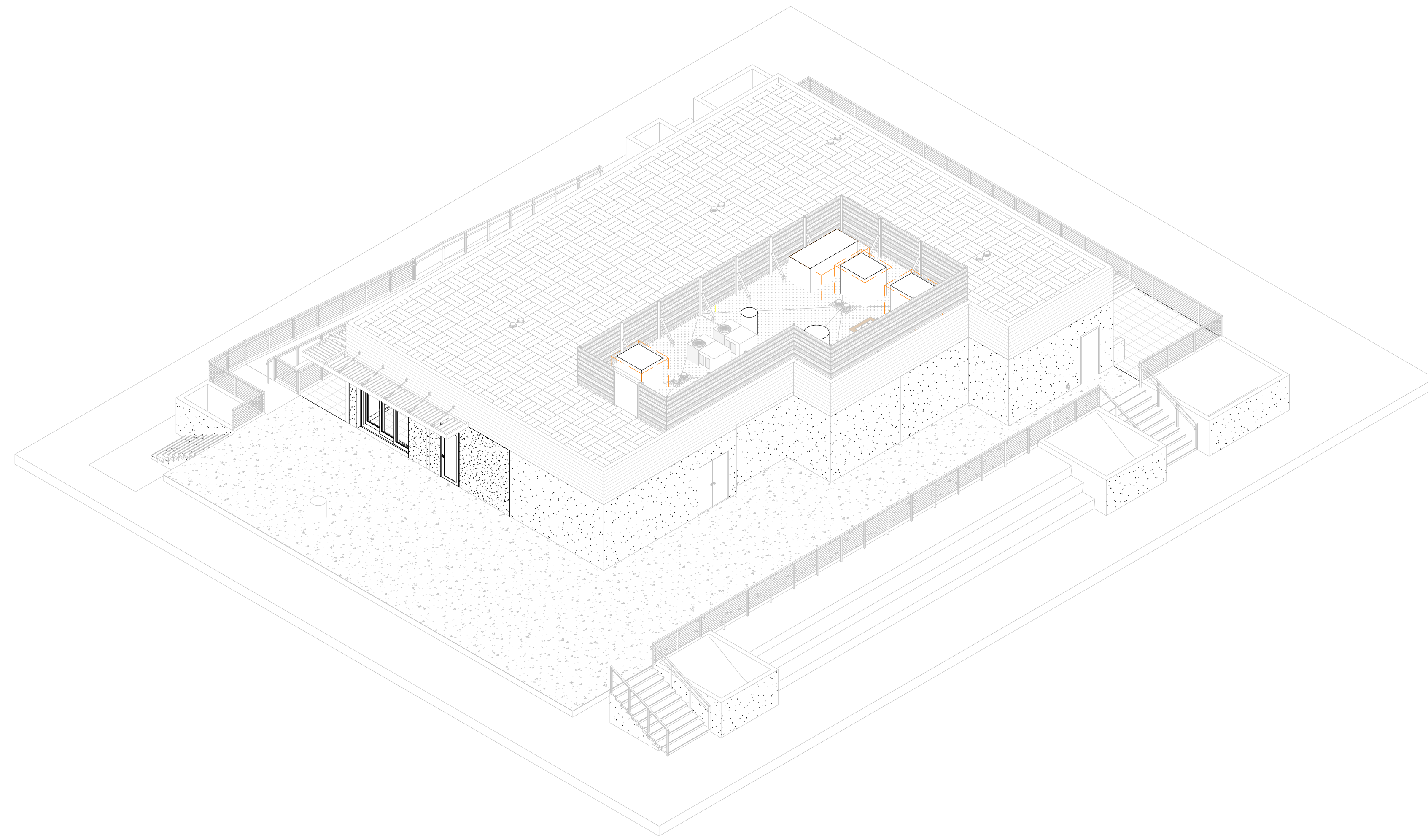
4/24/2026
 MINOR MODIFICATION
 Sheet Title
ELEVATIONS

A-201.2

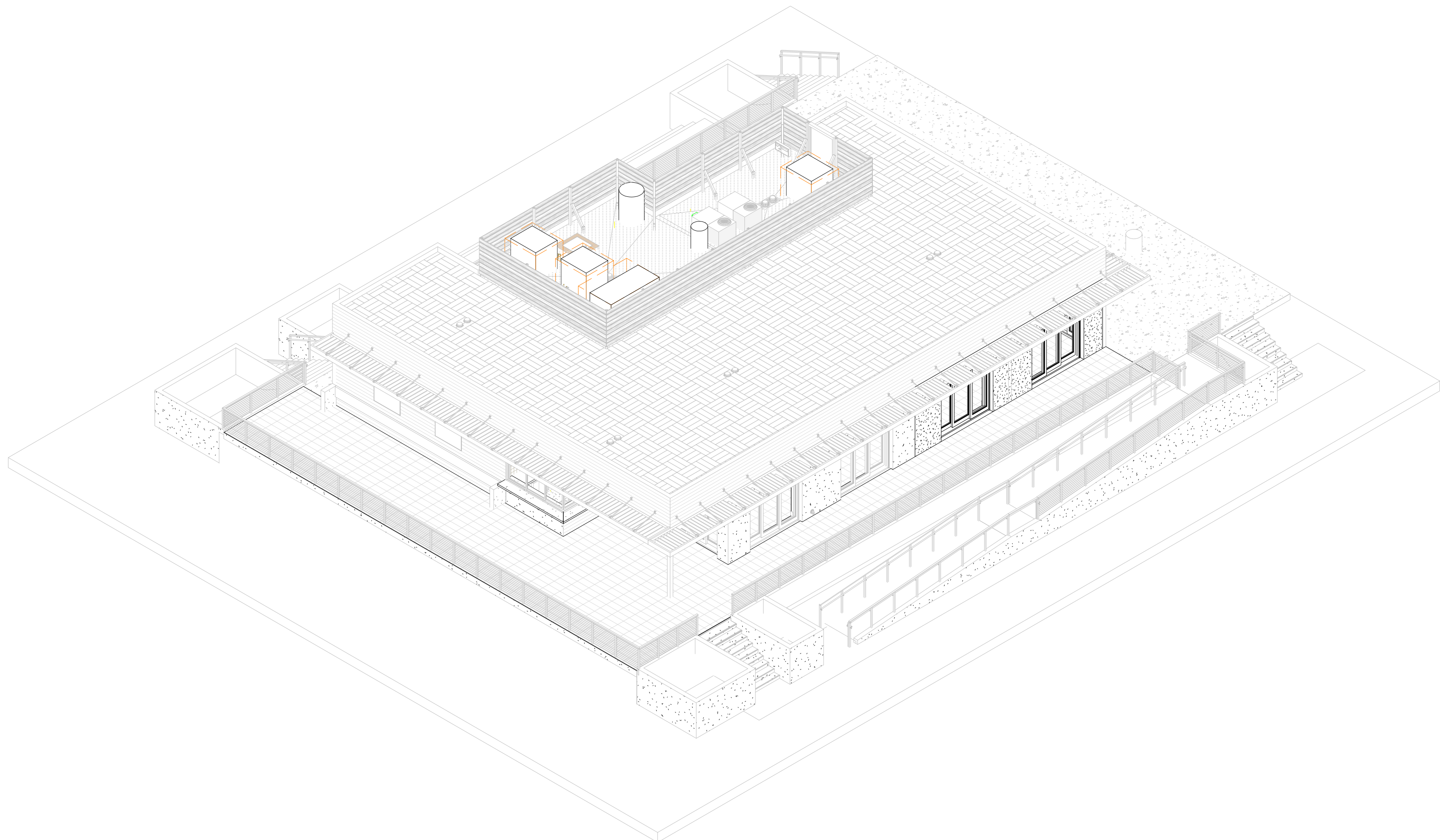
3/20/2025 11:30:47 AM
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THESE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



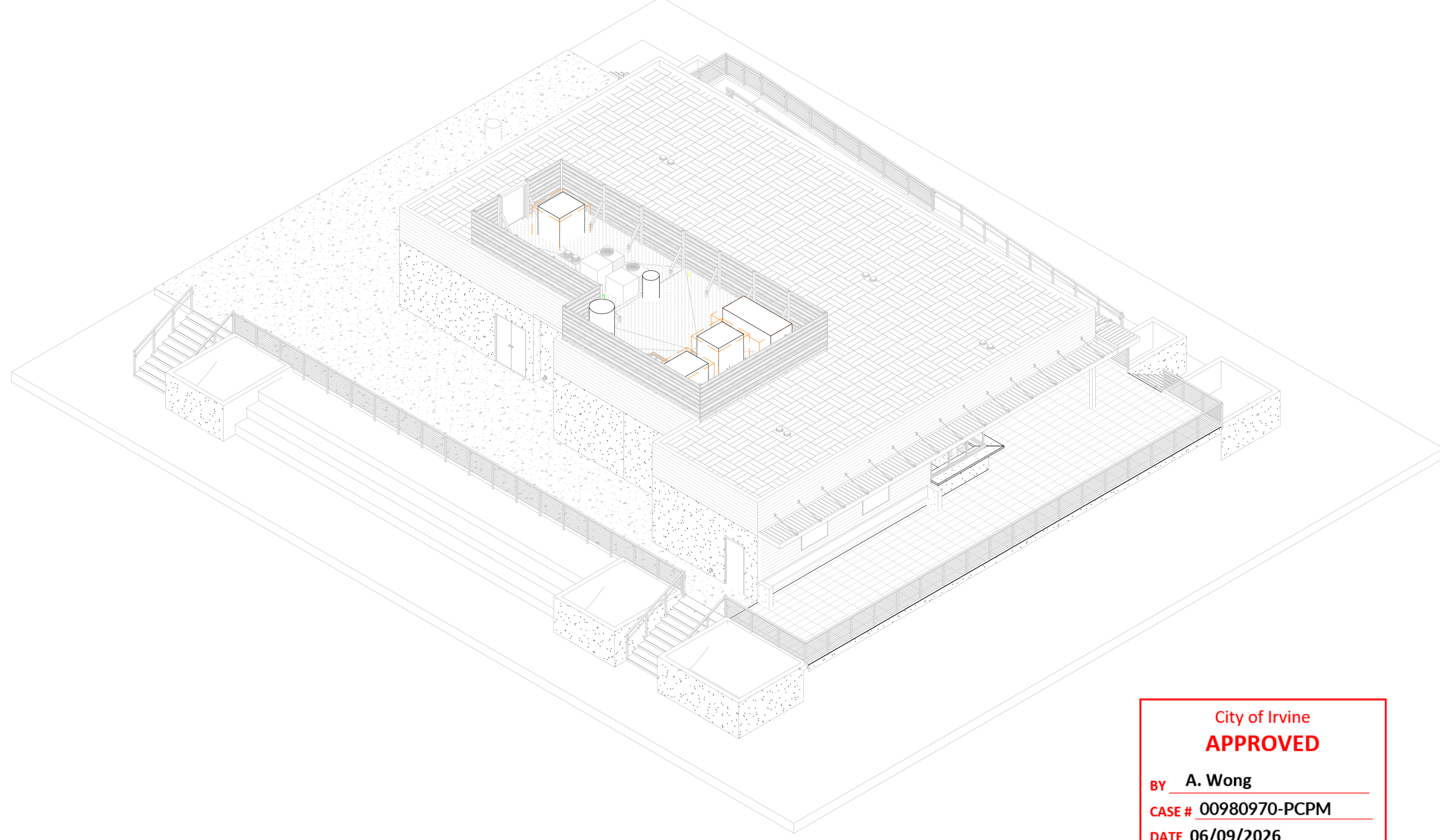
C1 3D ISO - SOUTHWEST



C4 3D ISO - SOUTHEAST



A1 3D ISO - NORTHWEST



A4 3D ISO - NORTHEAST

City of Irvine
APPROVED
 BY A. Wong
 CASE # 00980970-PCPM
 DATE 06/09/2026

**RACQUET CLUB
 OF IRVINE
 RESTAURANT**

5 Ethel Coplen Way, Irvine, CA 92612

PROJECT NO. 25243

REV	DATE	ISSUED	REASON
1	10/16/2025	CC Submittal	
2	11/21/2025	CC Resubmittal	
3	12/12/2025	CC Resubmittal-2	
4	01/14/2026	CC Resubmittal-3	
	03/24/2026	Minor Modification	
	04/24/2026	Minor Mod. Resubmittal	
	05/18/2026	Minor Mod. Resubmittal-2	

PROJECT CASE NUMBER:
00980970-PCPM

4/24/2026
MINOR MODIFICATION

Sheet Title
**3D VIEWS -
PHASE 2**

NOTICE OF EXEMPTION



TO: State of California
Office of Planning & Research
PO Box 3044
Sacramento, CA 95812-3044

County Clerk
County of Orange
PO Box 238
Santa Ana, CA 92702

FROM: City of Irvine
Community Development Department
PO Box 19575
Irvine, CA 92623-9575

Attn: Adam Wong
Associate Planner
949-724-5491

SUBJECT: Filing of **Notice of Exemption** in compliance with Section 15062 of the Public Resources Code.

Project Title and File No.: Minor Modification to Site Design 75-SD-0017 (File No. 00980970-PCPM)

Project Location: 5 Ethel Coplen Way; Planning Area 19 (Rancho San Joaquin) in the City of Irvine, County of Orange
(include County)

Project Description: Approval of a minor modification to Site Design 75-SD-0017 to enclose a 943-square-foot covered patio area to create additional interior dining area for the ancillary restaurant at the Racquet Club of Irvine.

Approving Public Agency: City of Irvine
Director of Community Development
PO Box 19575
Irvine, CA 92623-9575

Approval Date: June 9, 2026
Resolution No. N/A

Project Applicant: Alison Morita
Delawie
1515 Morena Boulevard
San Diego, CA 92110
Attn: Alison Morita
619-299-6690

Exempt Status:
(check one)

- Ministerial (Section 21080(b)(1); 15268)
- Declared Emergency (Section 21080(b)(3); 15269(a))
- Emergency Project (Section 21080(b)(4); 15269(b)(c))
- Statutory Exemption:
- Categorical Exemption: Section 15301, Class 1 for Existing Facilities**
- General Rule Exemption (Section 15061(b)(3))

Reason(s) Why Project Is Exempt: The project is exempt pursuant to CEQA Guidelines Section 15301 Class 1, Existing Facilities, which allows for the operation of, and minor alterations to, existing facilities involving negligible or no expansion of existing or former use. The proposed use will allow enclosure of a covered patio area to increase interior dining area; existing uses will continue onsite and negligible improvements to the building will occur.

Adam Wong, Associate Planner
Name and Title

Signature

June 9, 2026
Date