



August 18, 2026

Mr. Jun Hyung Park
Artis Art Academy
930 Roosevelt, Suite 231
Irvine, CA 92620

Sent Via Email

Subject: Approval of Administrative Use Permit 00976283-PAUP for Artis Art Academy at 930 Roosevelt, in Planning Area 8 (Northwood)

Dear Mr. Park:

Community Development Department staff has reviewed Administrative Use Permit 00976283-PAUP to operate a commercial school, Artis Art Academy, at 930 Roosevelt, Suite 231, within Jeffrey Office Park. The project site is bounded by Roosevelt to the north, Jeffery Road to the east, and Interstate 5 (I-5) to the south. Surrounding land uses include residential to the west, Cypress Village Shopping Center to the north, and the Jeffrey Open Space Trail to the east. The office park is located within Planning Area 8 (Northwood) and is zoned 4.2G Community Commercial.

As described in the applicant's letter of justification, Artis Art Academy proposes to operate a commercial school, occupying a 270-square-foot tenant space on the second floor of an existing 19,177-square-foot multi-tenant office building (Enclosure 1). Artis Art Academy will provide instructor-led art lessons for students under the age of 18 through scheduled, appointment-based classes conducted in small group settings. Classes will have a maximum of two students and one instructor at any one time. The space will also serve as a private office and art studio for the instructor during non-business hours when classes are not scheduled. All activities will be held within the existing tenant space, and no exterior modifications to the building, site circulation, or parking configuration are proposed (Enclosure 2).

Section 1-2-1 of the Irvine Zoning Ordinance defines "school, commercial" as "a business establishment where instruction is given, in exchange for payment of a fee. Examples of subjects taught include, but are not limited to, dance, computer skills, music, and martial arts." Based on the business description contained in the letter of justification, the use is classified as a commercial school, which is conditionally permitted in the 4.2G Community Commercial zone with the approval of an administrative use permit.

Parking

Section 4-3-4 of the Zoning Ordinance identifies the parking requirements for a “school, commercial” as one space per instructor and employee, plus one space per three students. Artis Art Academy will operate with a maximum of one instructor and two students on-site at any one time, requiring two parking spaces.

Jeffrey Office Park was approved under Master Plan 00402399-PMP with a total gross floor area of 312,655 square feet of office area. The parking requirement for the site is 1,125 parking stalls (the first 250,000 square feet is parked at one space per 250 square feet, and the remaining square footage is parked at one space per 500 square feet). The existing 270-square-foot tenant space requires one parking space per every 250 square feet, requiring two parking spaces. Artis Art Academy will operate with a maximum of one instructor and up to two students at any time, requiring a minimum of two spaces. Therefore, there is sufficient parking to accommodate the proposed use. To ensure continued compliance with the Zoning Ordinance parking requirements, Condition 6.41 has been added, which limits the maximum on-site occupancy to three individuals at any one time.

Special Land Use Restrictions

Jeffrey Office Park is subject to Special Land Use Restrictions (SLURs), which establish maximum square footage and vehicle trip allocations for the project site. The property is part of Spectrum Project No. 08-02, which is allocated 289 AM peak-hour trips, 275 PM peak-hour trips, and 3,191 average daily trips (ADT).

According to the applicant’s operational schedule, student arrival and dismissal times are staggered to avoid vehicles arriving and departing from the property during peak hours (Enclosure 3). The one-to-three-hour long classes will occur Monday through Saturday beginning no earlier than 10 a.m. and ending at 7:35 p.m. The space will also serve as a private office and art studio for the instructor during non-business hours. No classes will begin or end during the morning or evening peak-hour periods (7 to 8:30 a.m. and 4:45 to 6:15 p.m.), thereby minimizing overlap with peak commuter traffic.

Given the limited occupancy, small class format, and staggered class times, the anticipated vehicle trips associated with the commercial school are minimal and comparable to the trips that would be generated by the previously entitled office use. Accordingly, the proposed commercial school can be accommodated within the SLURs trip allocation for Jeffrey Office Park. Condition 6.41 requires that operations occur in accordance with the approved operational schedule to ensure continued compliance with the project’s trip limitations.

California Environmental Quality Act

Pursuant to Section 4 of the City of Irvine California Environmental Quality Act (CEQA) procedures and Article 19 of the State CEQA Guidelines, it has been determined that the proposed commercial school is categorically exempt from the requirements of CEQA, under Section 15301, Class 1, Existing Facilities. A Notice of Exemption has been prepared by staff and is provided with this letter (Enclosure 4).

Findings

Based on the submittal, the Director of Community Development makes the following findings, pursuant to Section 2-33-7 of the Irvine Zoning Ordinance, and hereby approves Administrative Use Permit 00976283-PAUP.

- A. The administrative use will comply with all the applicable development standards of the Zoning Ordinance and the purpose of the zoning district in which the site is located.

The project is consistent with the 4.2G Community Commercial zone as it introduces a community-serving instructional use that is consistent with the district's intent to provide a mix of commercial and service-oriented uses that serve the surrounding residential population. The project does not propose any exterior modifications to the building, changes to site circulation, alterations to landscaping, or reconfiguration of existing drive aisles or driveways. All improvements are limited to interior tenant improvements within the existing suite. As such, the project will not impact any existing site conditions, including parking, building height, floor area, setbacks, or landscaping.

Furthermore, based on the proposed operation, two parking spaces are required for the use and two spaces are assigned to the tenant space. Additionally, Condition 6.41 limits the maximum on-site occupancy to three individuals at any one time, which will ensure compliance with the applicable parking requirements. This total does not include any parents or guardians that would be onsite to drop off or pick up the students. Accordingly, the proposed use is consistent with the intent of the zoning district and complies with all applicable provisions of the Zoning Ordinance.

- B. Adequate traffic circulation, off-street parking, and pedestrian safety will be maintained during the operation of the administrative use.

The proposed commercial school will occupy a 270-square-foot suite within an existing 19,177-square-foot multi-tenant commercial building, and involves no changes to the existing site layout, building footprint, or circulation pattern. The proposed use will have a maximum occupancy of one instructor and two students at any one time, thereby requiring two parking spaces.

Classes will be conducted on a scheduled basis outside peak traffic periods, which limits overlapping arrival and departure activity and reduces potential circulation conflicts. Condition 6.41 restricts occupancy and requires operations to occur in accordance with the approved operational schedule to ensure that traffic and parking remain consistent to reduce traffic and parking-related impacts from the proposed use.

The project does not propose any changes to the existing walkways or on-site lighting, ensuring pedestrian safety remains consistent with the original design. Therefore, the proposed commercial school will not adversely impact the existing circulation patterns within the commercial center and will have no effect on the off-street parking nor negative impact on pedestrian safety.

- C. The administrative use will not impair the character and integrity of the zoning district and surrounding area.

The proposed use includes the operation of a commercial school offering instructor-led art instruction within an existing multi-tenant office building in the 4.2G Community Commercial zone, which is consistent with the district's intent to provide a mix of commercial and service-oriented uses that serve surrounding residential population. The use is minor in scale and compatible with the nature of the office park, which includes several other commercial school uses. The proposed use operates indoors and does not propose exterior modifications. Therefore, the proposed use will not impair the character or integrity of the zoning district or surrounding area.

- D. The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.

The project site's zoning designation of 4.2G Community Commercial identifies the intent and purpose of the zone as an area that provides goods and services to the community and is designed to serve the needs of one or more planning areas. The proposed commercial school expands the range of services available to residents and families within Northwood (Planning Area 8) and the broader community. The proposed commercial school offers instructor-led art education and expands the range of services available to residents and families of Planning Area 8 (Northwood) and the broader community. The use also aligns with the community's interest in academic enrichment and after school programming. Additionally, the project contributes to the local economy through employment opportunities and small business investment. Therefore, the proposed commercial school use is in harmony with City policies and the intent and purpose of the 4.2G Community Commercial zone.

- E. The administrative use will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

The proposed commercial school will contribute to the overall vibrancy within the area by providing a valuable educational service for the residents of Irvine and the surrounding area. The commercial school is also compatible with surrounding businesses, which include office buildings and other commercial schools. The commercial school's operational model ensures a low impact on the area. Further, the project does not involve any changes to the existing building footprint, square footage, landscaping, driveways, or circulation system. Therefore, the commercial school use will not negatively impact adjacent tenants, the surrounding area, or other uses within Jeffrey Office Park.

The approval is subject to the following conditions of approval:

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION - HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Standard Condition 6.26

NONTRANSFERABILITY AND EXPIRATION OF
ADMINISTRATIVE USE PERMIT

Approval of this administrative use permit is specific to the business operation and business operator described in the application materials reviewed and approved by the Community Development Department. This administrative use permit does not run with the land and is not transferable to a different business operator, business owner, or business entity. Pursuant to Chapter 2-33 (Administrative Use Permit) and Chapter 2-10 (Enforcement and Revocation Procedures) of the Irvine Zoning Ordinance, this administrative use permit shall automatically expire upon closure or cessation of the approved business operations at the subject site. Any subsequent operator proposing to conduct a similar use at the subject location shall be required to apply for and obtain a new administrative use permit, subject to independent review and approval in accordance with the procedures set forth in Chapter 2-33 of the Irvine Zoning Ordinance.

Standard Condition 6.27

REVOCATION

Failure to abide by and faithfully comply with any and all conditions that may be attached to an application approved pursuant to the Irvine Zoning Ordinance shall constitute grounds for the revocation of such approval by the original approval body or the Irvine City Council.

Standard Condition 6.40 (as modified)

SITE PARKING ISSUES

If the Director of Community Development (“Director”) determines that parking issues attributed to Artis Art Academy are negatively affecting the project site or adjacent properties, the property owner or the applicant may be required to submit a plan prepared by a licensed third-party traffic engineer to the Director that identifies specific measures to resolve these issues. The draft plan shall be submitted within 30 days of notification by the City and shall be reviewed and approved, or comments will be provided by the Director. The property owner or the applicant shall be required, at its sole expense, to implement any modifications required by the plan within 30 days of written notice from the Director to implement such measures, or in such timeframe as directed by the Director.

Condition 6.41

OPERATIONAL RESTRICTIONS

This approval allows the operation of a commercial school. The business shall operate in accordance with the following conditions:

- A. Artis Art Academy shall conduct operations in accordance with the approved Operational Schedule. Classes shall occur Monday through Saturday from 10 a.m. to 7:35 p.m. No classes shall occur outside of these approved hours.

- B. No instructor, student drop-off, or student pick-up shall occur within the AM peak-hour period of 7 to 8:30 a.m. or the PM peak-hour period of 4:45 to 6:15 p.m., Monday through Friday. Class sessions and instruction shall not begin or end within the peak-hour periods.
- C. Occupancy within the suite shall not exceed one instructor and two students at any one time, with a maximum on-site occupancy of three persons.

If the applicant desires to modify the approved hours of operation in the future, they may file a written request to amend the proposed hours of operation, subject to approval by the Director of Community Development.

Condition 6.42

BUILDING OCCUPANCY

The applicant shall ensure the building is not used or occupied, in whole or in part, without a valid Certificate of Occupancy (CofO), as required by Section 111 of the California Building Code.

Condition 6.43

BUSINESS LICENSE

The applicant shall obtain an approved City of Irvine business license before initiating any business operations in accordance with the Irvine Municipal Code.

The submitted letter of justification, floor plan, operational schedule, and parking summary are integral components of this approval. This approval is contingent upon the applicant obtaining a valid business license and securing all applicable permits prior to commencing business operations, including, but not limited to, building, electrical, and any other permits required by the City of Irvine. Any modification to the approved floor plan, or any change to the operational characteristics of the business that creates an inconsistency with the information provided in this correspondence, results in an intensification of use, or introduces new impacts not previously evaluated, shall render this administrative use permit approval null and void and shall require resubmittal for further review and approval.

In the event the use authorized by this administrative use permit ceases, the permittee shall provide written notification to the Director of Community Development within 30-calendar days of the cessation of operation.

Condition 6.44

COMPLIANCE WITH PRIOR APPROVALS

All applicable conditions of approval associated with original Master Plan 00402399-PMP issued for Jeffrey Office Park and any subsequent modifications shall remain in full force and effect.

Mr. Jun Hyung Park
August 18, 2026
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Unless an appeal is filed prior to the expiration of the five-day appeal period ending at 5 p.m. Tuesday, August 25, 2026, the approval granted by this letter shall become effective Wednesday, August 26, 2026.

Please note that any permits cannot be issued until all fees associated with this application are paid in full. Should you have any questions regarding this approval, please contact Assistant Planner Siobhan Gumapac-McGuire at 949-724-6351 or via email at SGumapac-McGuire@cityofirvine.org.

Sincerely,

A handwritten signature in black ink that reads "Stephanie Frady". The signature is fluid and cursive, with the first name "Stephanie" being more prominent than the last name "Frady".

Stephanie Frady, AICP
Director of Community Development

Enclosures:

1. Letter of Justification
2. Project Plans
3. Operational Schedule
4. Notice of Exemption

ec: Alyssa Matheus, Planning Manager
Nick Melloni, Principal Planner
Files: 00976283-PAUP; 00402399-PMP

Information Letter

Jun Hyung Park
Owner of Artis Art Academy/ 00976283-PAUP
930 Roosevelt, Suite 231
Irvine, CA 92620

I trust this letter finds you well. I am writing to provide you with the necessary information regarding the business license.

I am now planning to run an art academy. I graduated with a bachelor's degree in art from a university in the United States and have 15 years of experience as an art instructor. It is an art education academy for high school students from the upper grades of elementary school to prepare for college entrance exam portfolios. It is planned to be operated as a small academy with 1 instructor and 2 students at any given time, and class times of approximately 1 to 3 hours. Apart from private lessons as noted on the class schedule, the owner, who is also the only instructor, will be on site at any given time between the hours of 9 AM and 9 PM Monday-Sunday for office administrative business, professional use. This includes a space for my own art creation as well as administrative work with no customers/students on site outside of the scheduled classes. There will be no retail sales on site. Any privately created art is sold off site or online. The academy building is owned by an investment company called QIAN YI PROPERTY, and I plan to rent and use the 270 SF space in room 231. There is a separate space in the lobby on the first floor of the academy for students and parents to meet for pickup after class, and there is ample parking space.

If you have any questions or need further clarification, please do not hesitate to contact me at 949-274-1953. Thank you for your understanding and collaboration in this matter.

Sincerely,
Jun Hyung Park
Owner and Main Teacher

ENCLOSURE 1

Landlord Parking Allocation Letter

Artis Art Academy

930 Roosevelt, Suite 231, CA 92620

Reference request: City of Irvine

Qian Yi Property Management, as the landlord of the 930 Roosevelt building, grants 2-3 parking spaces to the tenant, **Artis Art Academy**, in Suite 231 for the use of parents and students.

For inquiries, please contact (949)-988-1111

Thank you.



Signature

Sam Mao

Property Manager

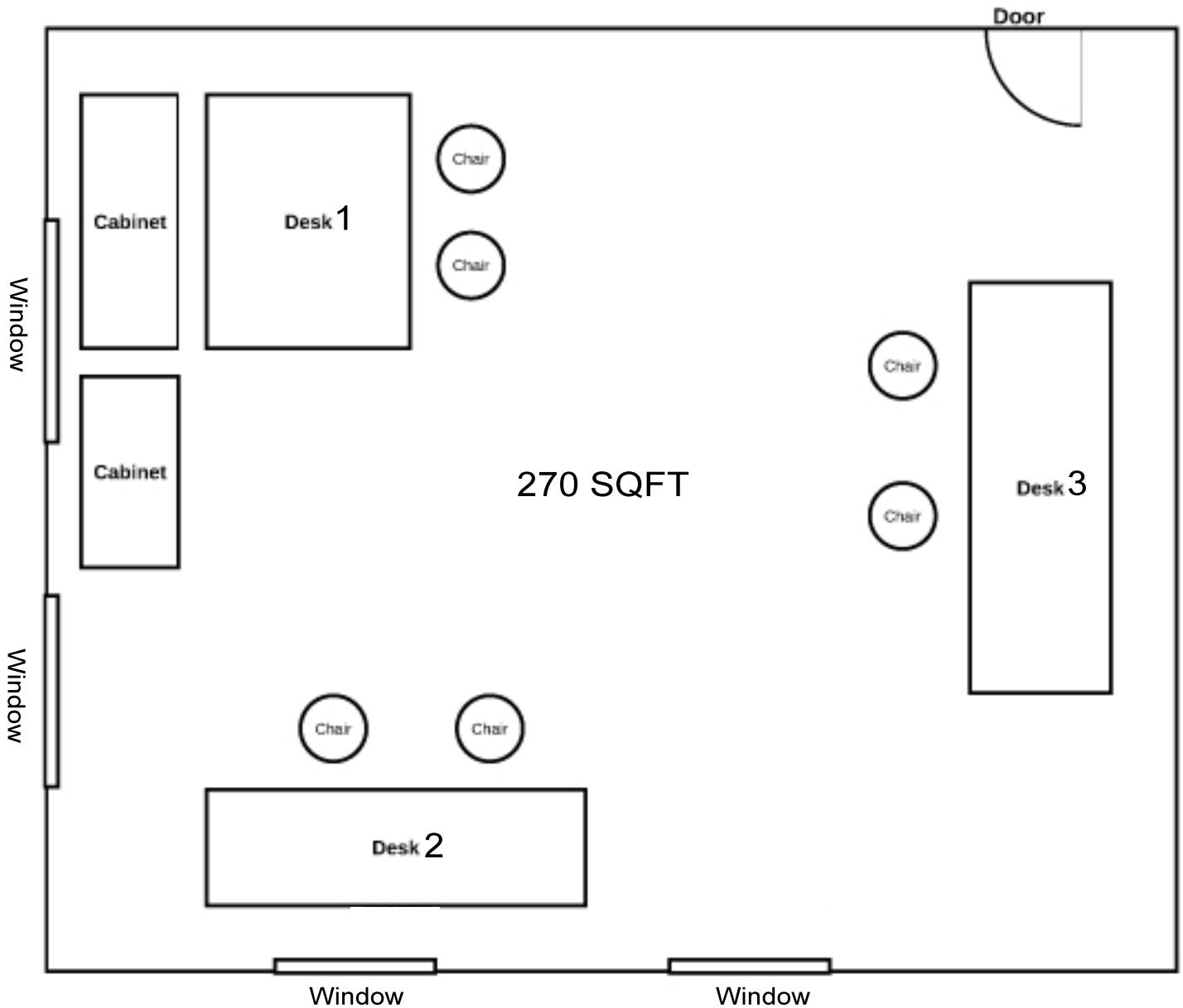
9/23/2025

PROPOSED FURNITURE LAYOUT

Project Address: 930 Roosevelt, Suite 231, Irvine, CA 92620

Business Name: Artis Art Academy

FLOOR PLAN
00976283-PAUP



Proposed Use: Art Academy (No Construction / Existing Layout As Is)

Maximum Occupant Load: 6 Total

ENCLOSURE 2

City of Irvine
APPROVED

BY Director of Community Development

CASE # 00976283-PAUP

DATE August 18, 2026

Desk1:Consultation/Counseling area.

Desk2:Drawing&Paintinginstruction.

Desk3:Sculpture&DigitalArtinstruction.

Chairs: Each desk is equipped with 2 chairs

One for the teacher & one for the student

Cabinets: Used for storing students' art supplies and materials

City of Irvine
APPROVED

BY Director of Community Development

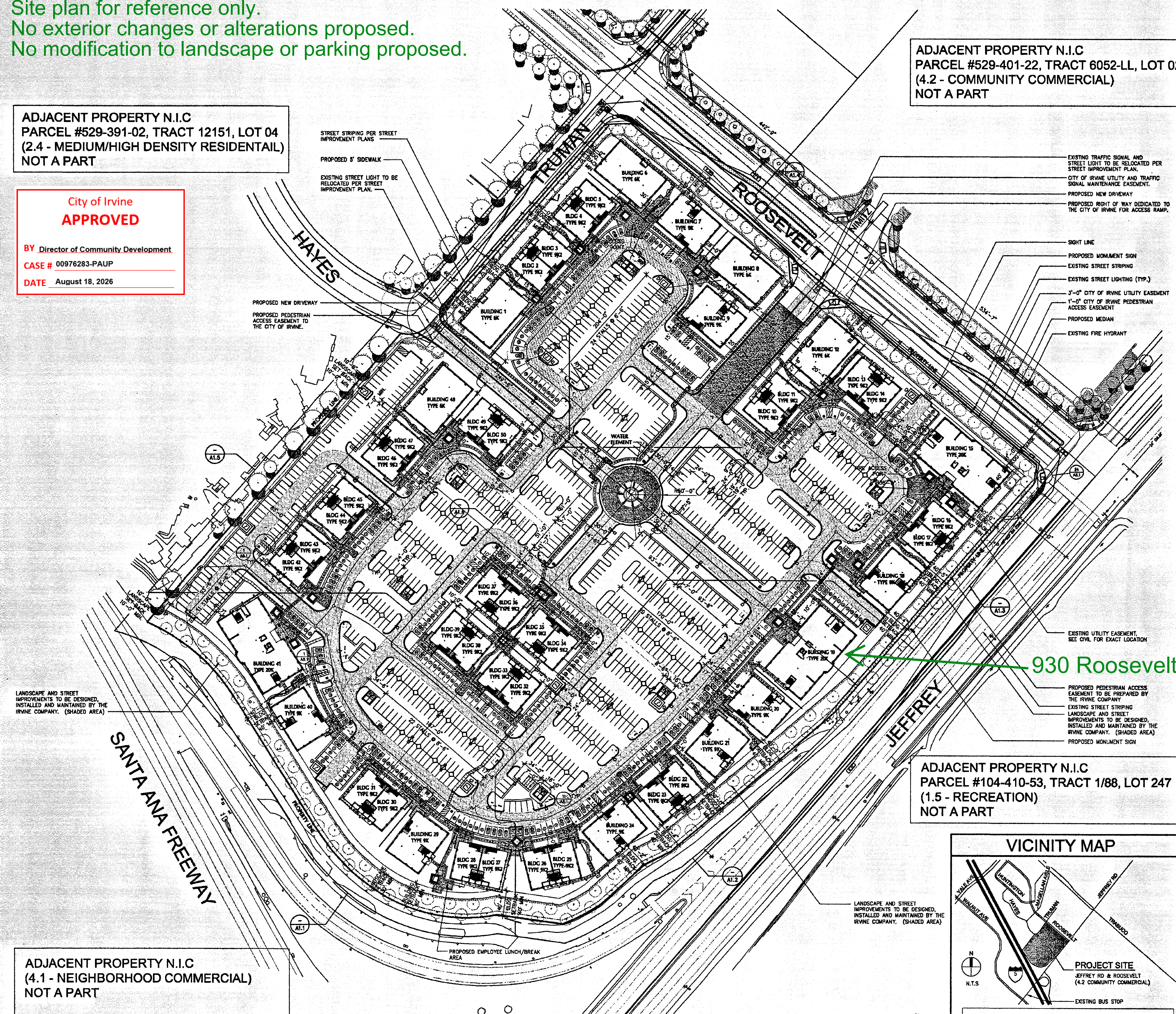
CASE # 00976283-PAUP

DATE August 18, 2026

Site plan for reference only.
No exterior changes or alterations proposed.
No modification to landscape or parking proposed.

ADJACENT PROPERTY N.I.C
PARCEL #529-391-02, TRACT 12151, LOT 04
(2.4 - MEDIUM/HIGH DENSITY RESIDENTIAL)
NOT A PART

City of Irvine
APPROVED
BY Director of Community Development
CASE # 00976283-PAUP
DATE August 18, 2026



ADJACENT PROPERTY N.I.C
PARCEL #529-401-22, TRACT 6052-LL, LOT 02
(4.2 - COMMUNITY COMMERCIAL)
NOT A PART

ADJACENT PROPERTY N.I.C
PARCEL #104-410-53, TRACT 1/88, LOT 247
(1.5 - RECREATION)
NOT A PART

LEGEND

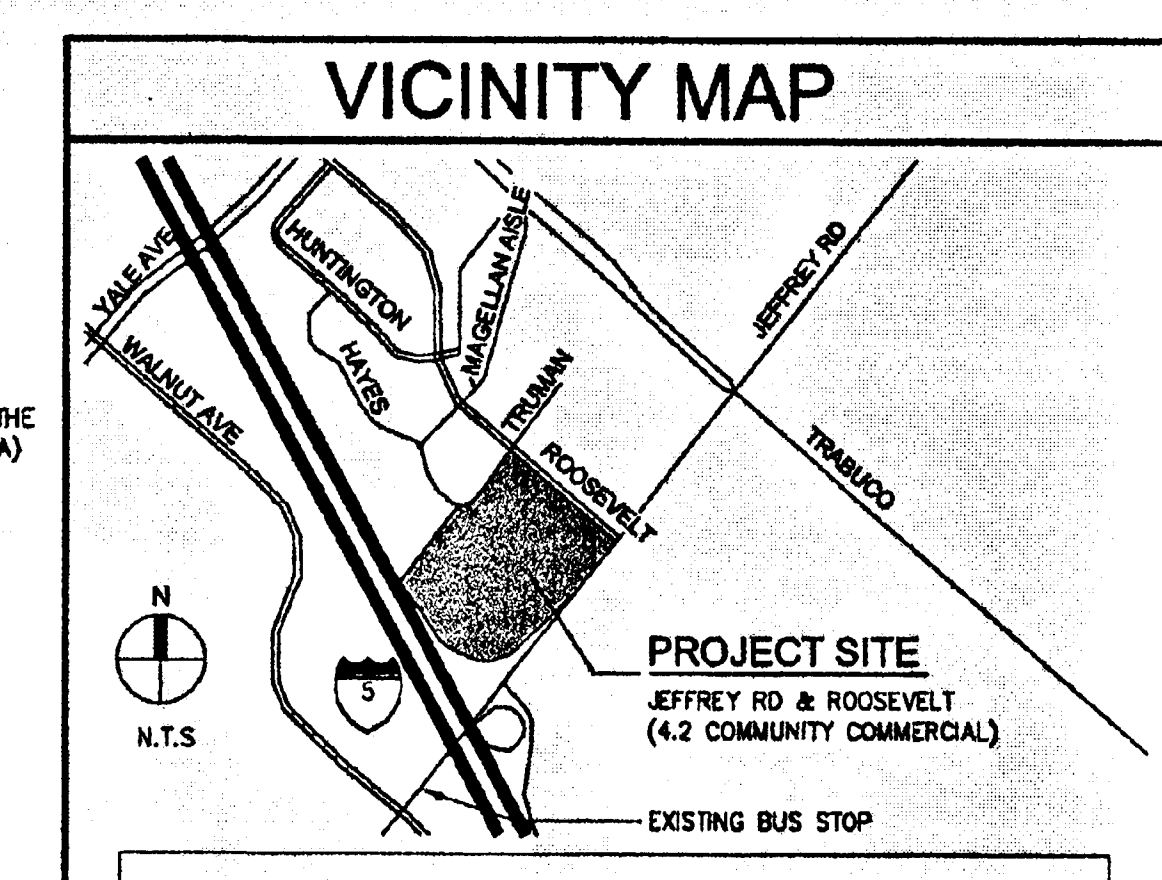
PROPERTY LINE, SEE CIVIL DRAWINGS
CHAIN LINK FENCE
DASHED LINE INDICATES ENLARGED SITE AREA ON OTHER SHEET
ADA PATH OF TRAVEL
20'-0" FIRE LANE PER CITY STANDARDS
INTERLOCKING CONCRETE PAVING, TIGHT JOINT FLUSH SURFACE, THE MATERIAL IS ACCESSIBLE SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.
CONCRETE TRANSFORMER PAD, SEE ELECTRICAL DRAWINGS, SEE DETAIL 15/A&1
BIKE RACK, SEE DETAIL 17/ A&1
5'-0" X 10'-0" STANDARD/ CARPOOL PARKING STALL
5'-0" X 10'-0" LONG TERM PARKING STALL
5'-0" X 10'-0" STANDARD PARKING STALL
POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL & CIVIL DRAWINGS AND DETAIL 20/A&1
FIRE HYDRANT - FACING FIRE LANE
DETECTOR CHECK
P.L.V.
BACK FLOW PREVENTER

- ### GENERAL NOTES
- REFER TO LANDSCAPE DRAWING FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
 - REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
 - FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
 - ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.
 - ALL DIMENSIONS ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTERLINE OF PARKING STALL UNLESS NOTED OTHERWISE.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS.
 - REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
 - CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 15'-0" O.C. MAX. AND CONTROL JOINTS AT 5'-0" O.C. MAX. BETWEEN EXPANSION JOINTS UNLESS NOTED OTHERWISE.

SEE ENLARGED SITE PLAN
SHEETS A1.1 - A1.6 FOR
ADDITIONAL
INFORMATION.

PROJECT DATA

PARKING DATA:		
TOTAL GROSS FLOOR AREA:	312,655 SF	
PARKING REQUIRED:	FIRST 250,000 / 250 = 1,000	
	REMAINING 62,655 / 500 = 125	
TOTAL PARKING REQUIRED:	1,125 STALLS	
TOTAL PARKING PROVIDED:	1,136 STALLS	
PARKING STALL TYPE		
	REQUIRED/ ALLOWED	PROVIDED
STANDARD STALL (5'-0" x 15'-0")	112 (10% min.)	312 (28%)
LONG TERM STALL (5'-0" x 15'-0")	1,113 (90% max.)	824 (72%)
TOTAL	1,125	1,136
ACCESSIBLE (INCLUDED WITH STANDARD STALLS)	23	28
CARPOOL (INCLUDED WITH STANDARD STALLS)	116 (10% min.)	116
MOTORCYCLE PARKING (INCLUDED WITH LONG TERM)	12 (1% min.)	12
BICYCLE RACK	17	18
EXISTING LAND USE	VACANT LAND	
PROPOSED LAND USE	COMMERCIAL OFFICES	
ZONING	4.2 COMMUNITY COMMERCIAL	
PLANNING AREAS	6, 7, & 8	
SITE DATA:		
SITE AREA:	TOTAL: 993,188 SF (22.8 ACRE)	
BUILDING AREA:	338,444 SF	
GROSS FLOOR AREA:	312,655 SF	
TYPE 9K:	5 @ 5,743 SF:	28,715 SF
TYPE 9K:	8 @ 8,284 SF:	66,272 SF
TYPE 9K:	34 @ 4,474 SF:	152,116 SF
TYPE 20K:	3 @ 19,184 SF:	57,531 SF
FLOOR AREA RATIO (GROSS BUILDING AREA):	.340	
SITE COVERAGE		
	ALLOWED	PROVIDED
SITE COVERAGE	35% MAX	34%
BLDG. HEIGHT	40' MAX.	33' TYPICAL
		38'-4" BLDG. 18 & 20
		SINGLE STORY - 10'
SITE LANDSCAPING		
SETBACK REQUIREMENTS	15% MIN.	
BLDG. SETBACK SUMMARY		
	REQUIRED	PROVIDED
SIDE	10'	+10'
REAR	10'	+10'
BLDG. TO BLDG.	20'	+20'



LEGAL DESCRIPTION

PM-93-185 PARCEL #6, 7, & 8
ASSESSORS PARCEL #229-391-10
TRACT 6052-LL, LOT 02

WARE MALCOMB
12151 Hayes Street
Irvine, California 92618
P: 949.658.5128 F: 949.658.1381

JEFFREY OFFICE PARK
JEFFREY ROAD & ROOSEVELT STREET
IRVINE, CALIFORNIA

BACCHUS DEVELOPMENT

SITE PLAN

DATE	REVISION	DATE	REVISION
08-12-2006	1.00	08-12-2006	1.00
08-14-2006	1.01	08-14-2006	1.01
11-02-2006	1.02	11-02-2006	1.02

PA/PM: S.M.
DRAWN BY: N.N.
JOB NO.: 051-028-00

A1.0

CONSTRUCTION SET

11-02-2006

00419017-CNEW



USE DETERMINATION LETTER CLASS & INSTRUCTOR TEMPLATE

CLASS SCHEDULE

FILL OUT ONE TABLE FOR EACH DAY IF SCHEDULE VARIES DAY TO DAY

☒ MONDAY ☒ TUESDAY ☒ WEDNESDAY ☒ THURSDAY ☒ FRIDAY ☒ SATURDAY ☐ SUNDAY

CLASS DESCRIPTION	START TIME	END TIME	NO. OF STUDENTS UNDER AGE 18	NO. OF STUDENTS OVER AGE 18	NO. OF PARENTS/ GUARDIANS WAITING
CLASS 1	M-F 2:30 PM	4:30 PM	2		2
CLASS 2	M-F 4:35 PM	7:35 PM	2		2
CLASS 3	SAT 10 AM	11 AM	2		2
CLASS 4	SAT 11:30 AM	2 PM	2		2
CLASS 5					
CLASS 6					
CLASS 7					
CLASS 8					
CLASS 9					
CLASS 10					

INSTRUCTOR SCHEDULE

FILL OUT ONE TABLE FOR EACH DAY IF SCHEDULE VARIES DAY TO DAY

☒ MONDAY ☒ TUESDAY ☒ WEDNESDAY ☒ THURSDAY ☒ FRIDAY ☒ SATURDAY ☒ SUNDAY

INSTRUCTOR/STAFF	ARRIVAL TIME	DEPARTURE TIME
INSTRUCTOR 1	M-SUN 9AM	9 PM
INSTRUCTOR 2		
INSTRUCTOR 3		
INSTRUCTOR 4		
STAFF 1		
STAFF 2		
STAFF 3		
STAFF 4		

NOTICE OF EXEMPTION



TO: ☒ State of California
Office of Planning & Research
PO Box 3044
Sacramento, CA 95812-3044

☒ County Clerk
County of Orange

PO Box 238
Santa Ana, CA 92702

FROM: City of Irvine
Community Development Department
PO Box 19575
Irvine, CA 92623-9575
Attn: Siobhan Gumapac-McGuire
Assistant Planner
949-724-6351
sgumapac-mcguire@cityofirvine.org

SUBJECT: Filing of **Notice of Exemption** in compliance with Section 15062 of Title 14 the California Code of Regulations.

Project Title and File No.: Administrative Use Permit for Artis Art Academy (File No. 00976283-PAUP)

Project Location: 930 Roosevelt, in Planning Area 8, in the City of Irvine, County of Orange.
(include County)

Project Description: Allow the operation of a commercial school (Art instruction) within a 270-square-foot tenant space located inside an existing multi-tenant office building at Jeffrey Office Park.

Approving Public Agency: City of Irvine
Director of Community
Development
PO Box 19575
Irvine, CA 92623-9575

Approval Date: August 18, 2026
Resolution No. n/a

Project Applicant: Jun Hyung Park of Artis Art Academy
930 Roosevelt, Suite 231
Irvine, CA 92602
Attn: Jun Hyung Park
[REDACTED]

Exempt Status:
(check one)

- ☐ Ministerial (Section 21080(b)(1); 15268)
- ☐ Declared Emergency (Section 21080(b)(3); 15269(a))
- ☐ Emergency Project (Section 21080(b)(4); 15269(b)(c))
- ☐ Statutory Exemption:
- ☒ Categorical Exemption: Section 15301, Class 1 for Existing Facilities
- ☐ General Rule Exemption (Section 15061(b)(3))

Reason(s) Why Project Is Exempt: Project is exempt pursuant to CEQA Guidelines Section 15301 (Class 1) Existing Facilities, which allows for the operation, repair, maintenance, permitting, or minor alteration of existing facilities involving negligible or no expansion of existing or former use. The project consists of the operation of a commercial school within an existing office building and does not increase building square footage, alter the building footprint, or involve exterior modifications.

Siobhan Gumapac-McGuire,
Assistant Planner

Name and Title

Signature

August 18, 2026

Date

ENCLOSURE 4